

CROWN NEIGHBORHOOD THREE & FIVE
DESIGN GUIDELINES

N3 & N5

INTRODUCTION

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Introduction

The N3/N5 design guidelines are intended to be complementary with the N2 guidelines and although it is not the intent to create a separate and distinct neighborhood, it is the intent to present an evolution of the architecture and design. They will also guide civil engineers and landscape architects tasked with the design and implementation of the public realm to a similar end and in a similar way. These neighborhood design guidelines will also be compatible with any and all previously approved design guidelines.

Neighborhood three (N3) and Neighborhood five (N5) are designed with a focus on pedestrian and bike circulation throughout the neighborhood. The street and path network maximizes connections to ensure walkability and bicycle friendliness.

The streets of N3 and surrounding N5 are designed to create a similar orthogonal pattern of blocks to the N2 street grid. The main streets that border the perimeter limit street connections and full movement intersections with the adjacent Neighborhood 2. However, N3 is designed to make a primary connection with N2 through Decoverly Drive at Crown Park Avenue. Due to the transit corridor, and limited crossings at Decoverly, this is the lone street connection to N2. The road dimensions and types are predominately the same across N2 and N3. The physical details of the architecture will ensure that the new buildings retain legibly common characteristics, even if the architects choose a slightly different design direction.

Through diagrams, photographs, and text, these design guidelines will provide an appropriate framework for all public and private construction at Crown.



Purpose of the Guidelines

The Crown Design Guidelines for N3 and N5 create a complementary yet distinct framework for an inclusive sustainable community that aspires to high environmental standards, provides a high quality of life for its residents, and has its own unique identity, while remaining integrated within its larger context. The purpose of the guidelines is to:

1. Enhance and protect the Crown quality of life and community image through clearly articulated goals and policies, guidelines and minimum standards;
2. Promote long term sustainable and economic vitality through design standards which encourage and reward high quality development, while discouraging less attractive and less enduring alternatives;
3. Minimize adverse impacts of vehicular circulation to existing neighborhoods and to the surrounding physical environment;
4. Enhance and protect the security, health, safety and welfare of the residents.

Organization of the Guidelines

The development is organized as a series of neighborhoods that allow for a variety of housing types and land uses to coexist. In order to ensure coherence in the visual experience of the built project, these guidelines are organized into four distinct sections - Urban Design, Landscape, Architecture, and Neighborhoods.

The Urban Design section lays out the design principles which govern the development, the overall site organization, massing guidelines, and architectural and landscape standards.

The Landscape section outlines minimum hardscape and planting requirements throughout the community to ensure a high quality public environment.

The Architecture section articulates the building design principles and specifies the material standard, facade treatment, and variety requirements.

The Neighborhood section provides guidelines that are specific to each neighborhood, while ensuring they reinforce the overall design agenda and principles specified in the Urban Design section.

Applicability and Use

The provisions of the guidelines shall apply to all development within Crown N3 and N5. The guidelines provide general design direction as well as development standards. Its primary purpose is to guide the project's design team. The guidelines will be utilized by the city staff, the Planning Commission, and the City Council to review development applications submitted under the City's Mixed Use Development development plan review process. The guidelines will also be used by builders and the Town Architect to guide the architecture of specific units prior to their submission to the city.

The goals and policies set forth in this document are expected to be met through compliance with all design standards and consideration of the design guidelines. Modifications to or waivers of design standards can be recommended as part of the city's MXD development plan review process.

The guidelines are to be used by property owners and applicants and their design consultants in the planning of development projects.

The plans included in the guidelines do not reflect the final site plan condition. These plans are subject to final approval of the Final site Plan.

Variances from design regulations & modifications

Modification or variance requests by the applicants to these design guidelines must be first approved by planning staff and ultimately is required to gain approval by the Town Architect or HOA then presented to the planning commission to be reviewed. The planning commission may approve or deny modification requests.

After initial outsales by the builders, subsequent modifications to the homeowners association documents shall be in accordance with these design guidelines.

All modifications or variance requests must comply with the city of Gaithersburg code.

These guidelines may be modified by the Planning Commission when the final site plan is reviewed.

Definitions

Please see page 4 of the N1 and N2 Design Guidelines, dated April 2011. All previously defined terms apply.

URBAN DESIGN

1

The Urban Design Guidelines delineate the basic variety in urban form expected for Crown. The combination of land uses, building typology, streetscape, and quality of public spaces outlined in the section will help make this new community a memorable, identifiable, and unique addition to the City of Gaithersburg. These guidelines will ensure that N3 & N5 will be unique from, but solidly related to, N1 & N2.

N3 & N5 OVERVIEW



Single Family:	44 units
Town House:	240 units
2 over 2:	80 units
Multi-Family (N3):	64 units
Multi-Family (N5):	up to 445 units

GENERAL CHARACTER

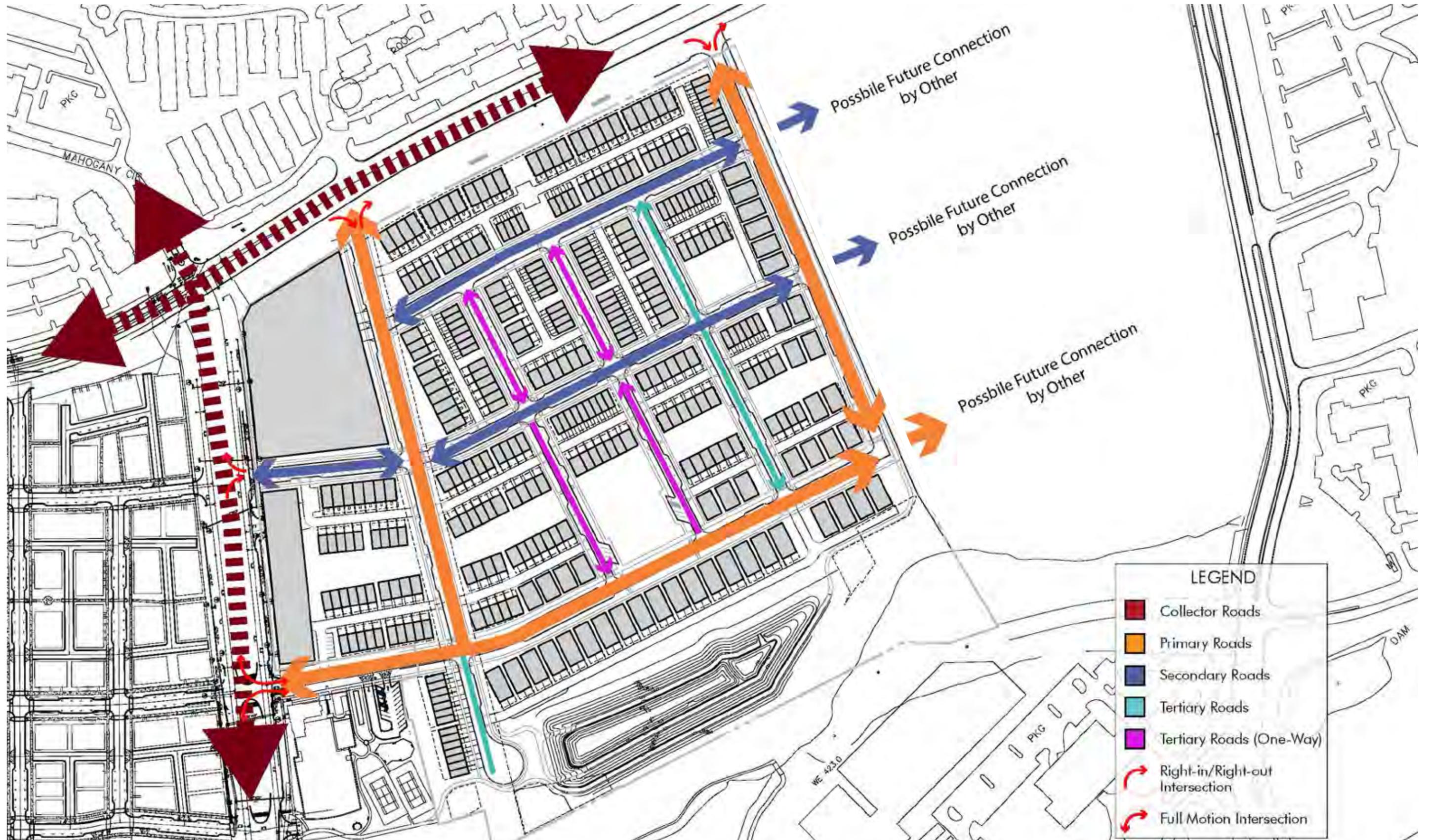
Neighborhoods 3 and 5 are located directly east of Decoverly Drive. They consist of approximately 46.3 acres. Neighborhood 3 is a medium-density residential district with a variety of housing types including single family detached houses, townhouses and multi family residential buildings. Neighborhood 5 will have a multi-family residential and commercial program.

Together they take advantage of open spaces, park design, and recreational open areas to create a strong sense of community and place. A system of linear parks creates a green axis emphasizing pedestrian circulation while it strengthens residential characteristics of the neighborhoods. Smaller scale pocket parks are situated in the design to vary neighborhood character. Differently sized housing types are grouped together to create lively and aesthetically pleasant neighborhoods.

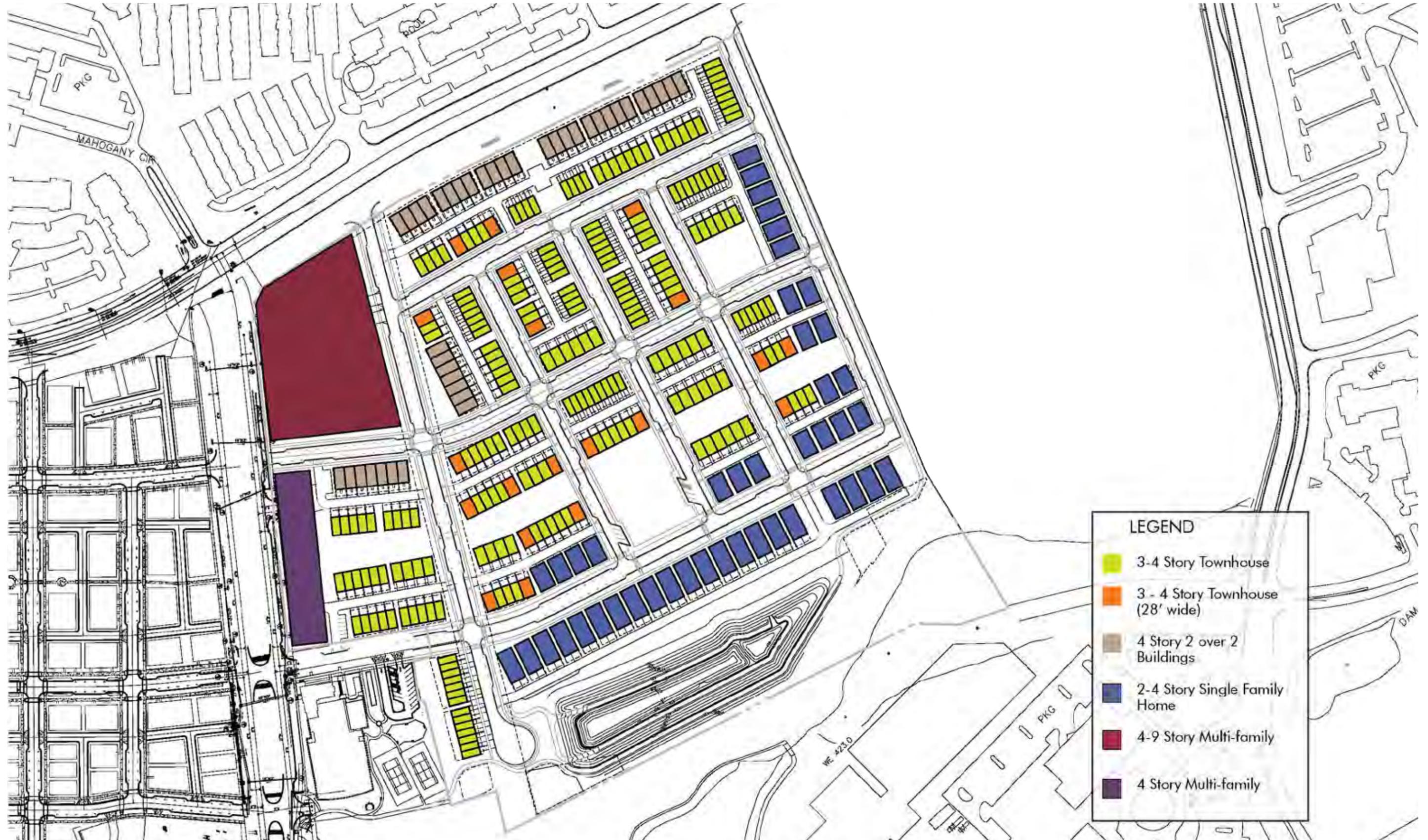
ARCHITECTURE

The design of different building types will add to community character without rigid aesthetic uniformity but will visually and physically relate to one another. The majority of the buildings shall conform to a more urban appearance. This will be achieved through character defining building elements, details, materials, and street facade arrangement prevalent in many attractive urban neighborhoods. Townhouse and multi-family structures have varied building heights. Varied material use is encouraged for building facades, balconies, and openings.

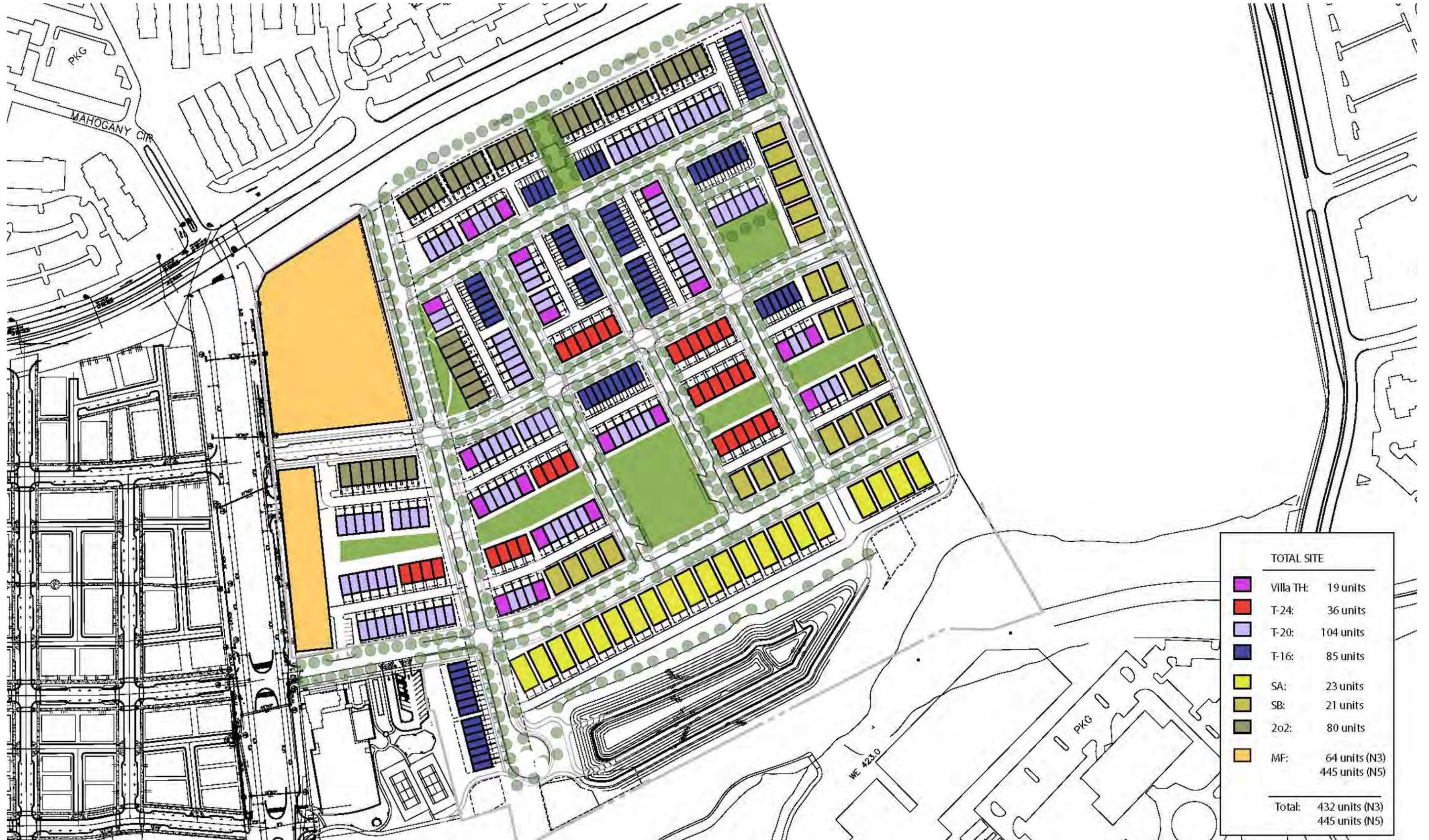
CIRCULATION & BLOCK PATTERN



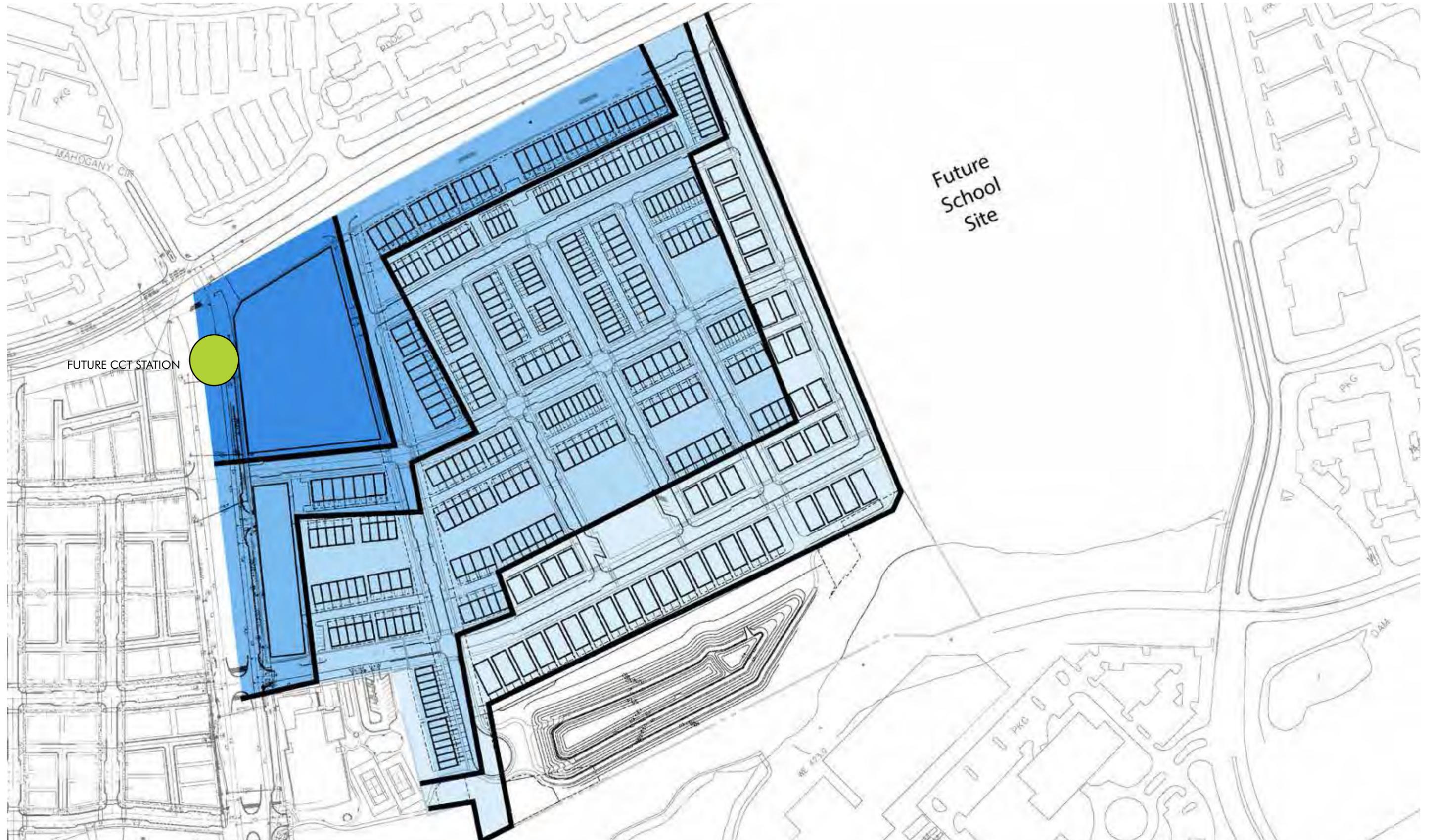
GENERAL BUILDING HEIGHTS



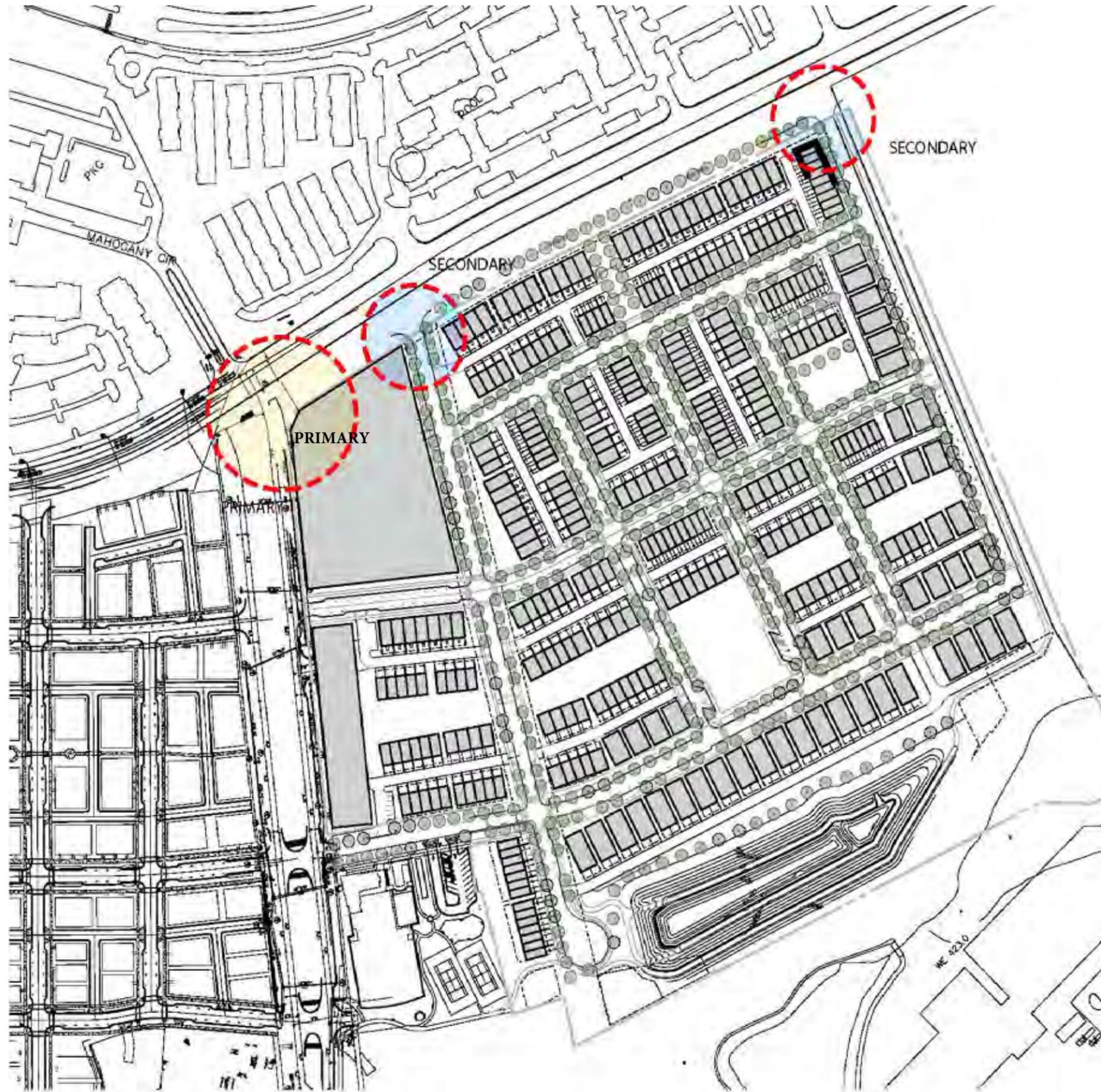
PROGRAM PLAN



DENSITIES CONCENTRATED NEAR MASS TRANSIT



NEIGHBORHOOD IDENTITY & SIGNAGE



PRIMARY ENTRY SIGNAGE: Primary entry signage will be located at the intersection of Decoverly Drive and Fileds Road, and should be a large scale element that serves as an icon, welcoming visitors when they arrive at Crown. It should be readable from major roads in order to capture viewer's attention and serve as a symbol for the neighborhood. Primary entry signage may have both the project branded iconic element and the name "Crown", depending on the size and location.

Free standing primary signage must sit on a stone, masonry, or precast base. The vertical portion of the signage feature may be masonry, stone, metal, or another comparable material that is visually consistent with the existing characteristics found within Crown. Internally illuminated box signs are not permitted. Letters or logos may be halo illuminated or face illuminated pan channel letters. Signage elements may also be externally illuminated from ground mounted lights. Freestanding entry signs may be no higher than 15 feet and may not exceed 150 square feet of surface area per side.

Primary entry signage on the N5 building shall not exceed 250 square feet, and shall be consistent with the dimensions and materials shown on the below concept rendering:



SECONDARY ENTRY SIGNAGE: Secondary entry signage shall support the message and identity established by the primary entry signage. These signs may flank all entries into N3 and N5, and will be subtler in expression and scale.

Free standing secondary signage must sit on a stone, masonry, or precast base. The vertical portion of the signage feature may be masonry, stone, metal, or another comparable material that is visually consistent with the existing characteristics found within Crown. Internally illuminated box signs are not permitted. Letters or logos may be halo illuminated or face illuminated pan channel letters. Signage elements may also be externally illuminated from ground mounted lights. Freestanding entry signs may be no higher than 10 feet and may not exceed 50 square feet of surface area per side.

BANNERS OR PAGEANTRY: Banners or pageantry add a level of color, pattern and texture that supports the design identity. The banners can be used as a community-wide graphic or could be used to support a special event. These elements may be attached to existing light poles or be part of a custom fabricated program. Banners would serve as a part of a graphic program that would celebrate the character of Crown.

The developer and/or management company will be responsible for the maintenance, removal and installation of these banners.

ARCHITECTURE 2

DESIGN PRINCIPLES

General Building Design Guidelines

These general building design guidelines are intended to encourage an architecture that is, in spirit, balanced between more traditional architecture found in N1 and N2, while allowing for flexibility to be more akin to the modern expression of traditional ideas found in the Community Amenity Building. It is the intention of these design guidelines to make N3 relate to N2 through its architecture and neighborhood scale.

To be very clear, the architecture of N3 shall have a strong design foundation that comes from traditional architectural ideas and forms. In this way, multiple architectural stylistic expressions will naturally arise.

These guidelines are to be general principles of design for the architecture in neighborhoods 3 and 5

1 Articulate Massing and Facades



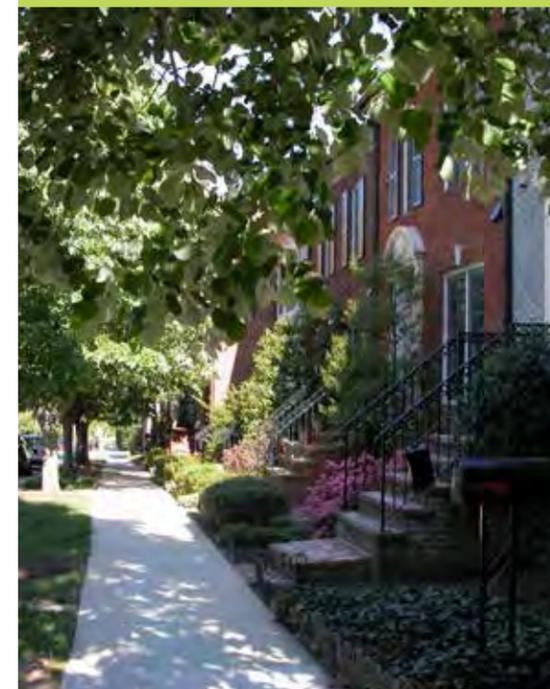
- Promote a building design that helps animate and add interest to the overall public & residential space experience via the interplay of light & shadow, opaque vs. transparent surfaces, texture, color & elevation depths.
- Articulation of distinct masses is encouraged to add interest to the skyline and creating diversity among the builders with the same product types.

2 Build in Tradition of Simple Yet Elegant Design



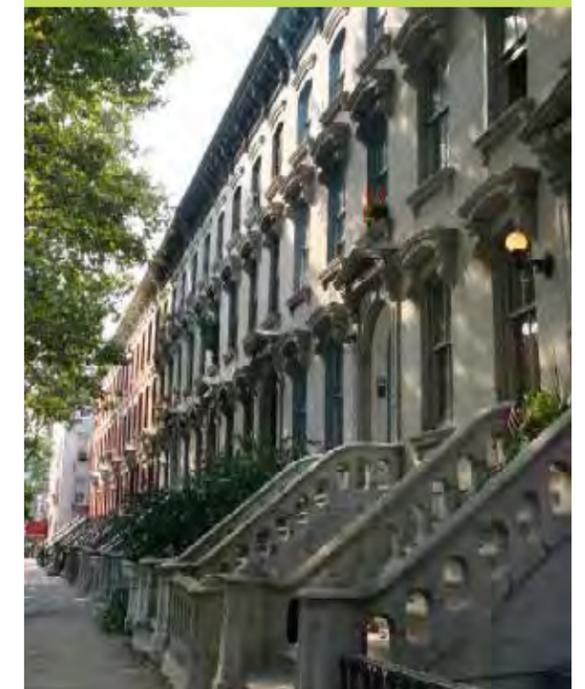
- Building architecture and elevations shall express a more contemporary design idea through the use of simple unifying roof and window lines, and careful selection of materials, yet still be rooted in traditional concepts.

3 Use Traditional High Quality and Durable Materials throughout the Community



- Brick, stone, stucco, shingles, and cement fiber siding may be used in ways that reinforce the appearance of the architecture.

4 Embellish the Streets with Outdoor Spaces including Terraces, Stoops, and Balconies.



- The relationship between the street and building facades is augmented by porches and balconies, which are deep enough to offer an outdoor retreat for the resident. Such spaces highlight street activity and offer a more interesting experience for the pedestrian.

5

Compose facades with a clear sense of hierarchy



- Overhangs, trellises, balconies, and porches can add interest and hierarchy to a facade composition. Window groupings, entrances and selective use of details can bring focus to important facade elements and add to the overall order of the building and neighborhood.

6

Design Building Faces that Respond to Various Streets and Open Spaces



- Where possible, buildings should incorporate architectural elements such as wrap-around porches, bay windows, chimneys, and pronounced entryways.
- The buildings should, in general, be aware of their placement in the urban design scheme, and have architectural expressions appropriate to their role in the urban scheme.

7

Use Combinations of Roof Forms to Distinguish Neighborhood Character



- Identity and distinction are important features of the architecture of Crown. Using varying roof forms such as gable, hip, flat and pitches roofs add value and character to different neighborhoods.

8

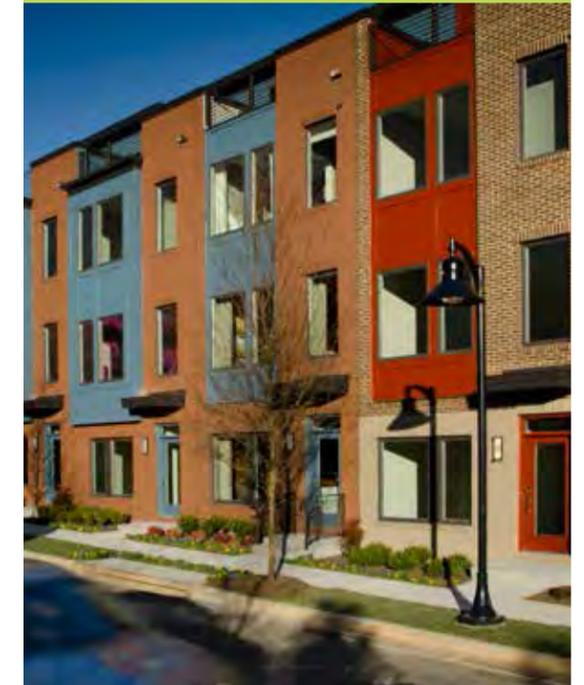
Emphasize Main Entries of Buildings



- Primary building entrances should be easily identifiable from a distance.
- The entry may be reinforced architecturally through door surrounds, changes in texture, solidity of surface to make entrances obvious and celebratory.

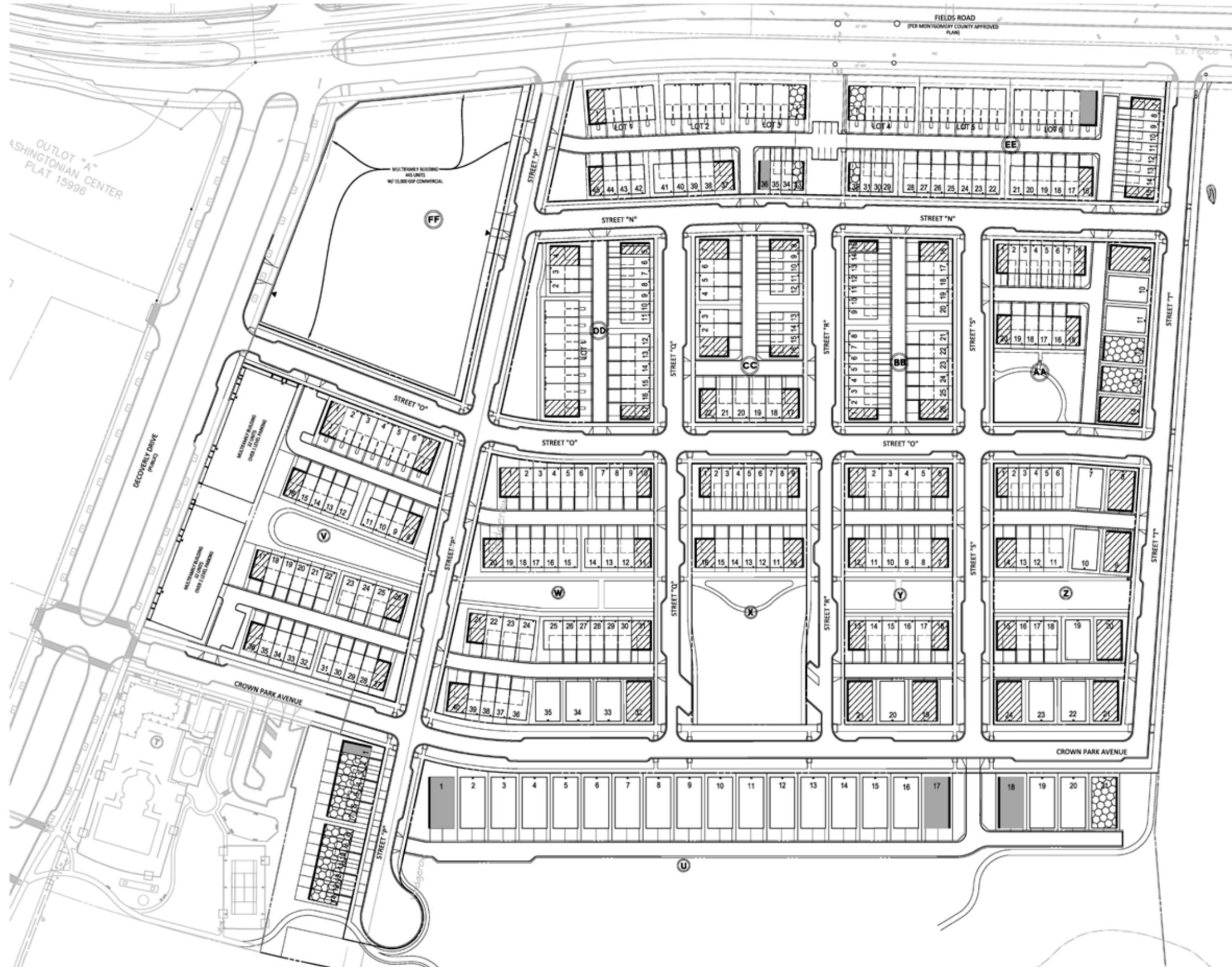
9

Screen Mechanical Units



- Mitigate the visual impact of mechanical equipment, & other utilities that are visually obtrusive. Screen roof top mechanical units when possible. Through wall mechanical units shall be thoughtfully designed into a building's facade, located in areas that minimize visual impact, and camouflaged with paint/materials.
- Units located behind buildings should also be screened.

KEY LOT PLAN



End Unit Key Lot

The residential unit located at the end of a row will be treated with a constant palette of materials on the front and side elevations. The percentage of materials used to treat the front and side elevations may vary.

Alley Entrance Key Lot

The first residential unit located at the alley entrances will be treated with a consistent palette of materials on the front, side, and rear elevations. The percentage of materials used to treat the front, side, and rear elevations may vary.

* All front elevations are treated. Additional treated elevations outlined in bold.

Open Space Key Lot

TOWN HOUSE AND TWO OVER TWO DESIGN GUIDELINES

1

Create sustainable, urban row houses that support healthy and safe streets



- Stoops are encouraged as a way of creating a sense of community
- Front gardens with local plants and tree species are encouraged

2

Articulate massing and facades



- Promote a building design that helps animate and add interest in the overall public space experience via the interplay of light and shadow, opaque vs. transparent surfaces, texture, color and elevation depths.

3

Make front entrances clearly defined and interesting



- Use architectural expression to clearly announce the primary entrance.
- This can be done through door surrounds, small roof forms, stoops, etc.

4

Design row houses that are contemporary but which find inspiration in traditional architecture



- Contemporary expressions of traditional architectural forms, from porches, roof forms and stoops to window details, brick patterns and geometries are all opportunities with rich possibilities for architectural exploration

5

Build row houses that use punched openings & contrasting metal bays and lofts



- Punched openings should be the normative condition of all fenestration.
- Bays and top floor lofts of contrasting color and material are great opportunities for architectural and design contrast.

MULTI-FAMILY DESIGN GUIDELINES

1

Create sustainable, urban buildings that may include excellent storefront design



- Broad, welcoming front entrances are encouraged
- Gardens with local plants and tree species are encouraged

2

Articulate massing and facades with appropriate variation



- Promote a building design that helps animate and add interest in the overall public space experience via the interplay of light and shadow, opaque vs. transparent surfaces, texture, color and elevation depths.

3

Make front entrances clearly defined and interesting



- Use architectural expression to clearly announce the primary entrance.
- This can be done through door surrounds, roof forms, stoops, etc.
- Porte Cocheres are allowed

4

Design buildings that are contemporary but which find inspiration in traditional architecture



- Contemporary expressions of traditional architectural forms, from porches, roof forms and stoops to window details, brick patterns and geometries are all opportunities with rich possibilities for architectural exploration

5

Build buildings that use punched openings & contrasting metal bays and lofts



- Bays and top floor lofts of contrasting color and material are great opportunities for architectural and design contrast.

SINGLE -FAMILY DESIGN GUIDELINES

1

Create sustainable, single family houses that support healthy and safe streets



- Stoops are encouraged as a way of creating safe streets
- Front gardens with local plants and tree species

2

Articulate massing and facades



- Promote a building design that helps animate and add interest in the overall public space experience via the interplay of light and shadow, opaque vs. transparent surfaces, texture, color and elevation depths.

3

Make front entrances clearly defined and interesting



- Use architectural expression to clearly announce the primary entrance.
- This can be done through door surrounds, small roof forms, stoops, etc.

4

Design houses that are contemporary but which find inspiration in traditional architecture



- Contemporary expressions of traditional architectural forms, from porches, roof forms and stoops to window details, brick patterns and geometries are all opportunities with rich possibilities for architectural exploration

5

Build houses with porches, stoops & other gestures towards living in a *community*



- Single family houses with clear front porches and stoops are to be very much encouraged.
- Porches may be one or several stories tall.
- Porches encourage occupation of a middle zone between public and private that improves community connections, safety and sense of place.

MATERIALS GUIDELINES - N3

Walls

Building walls will be constructed of the following materials. When constructed of more than one material, changes in material are permitted along a horizontal or vertical line.

Brick

- Brick will be coursed in Common Bond, Flemish Bond, Herringbone, Basket Weave, or other decorative bond.
- A variety of brick colors, modules, and finishes will be allowed. Painted brick, in keeping with the traditional treatment of brick in Washington, DC and the mid-Atlantic region, is also allowed.

Siding

- Cementitious or fiber board, or its equivalent, is an acceptable siding material where brick and stone are not required. Wood clapboard siding, and board & batten, running horizontally or vertically, are permitted as well.
- Cementitious Panels are allowed
- Aluminum and vinyl siding are not permitted.
- Siding joints will be caulked, painted, or installed according to manufactures instructions.
- Siding can be lapped, board & batten, or Dutch-lapped.
- Use appropriately scaled trim when using siding or shingles.
- All siding corners are to be terminated with corner boards
- Stucco and EIFS are acceptable, though should be minimized

Walls, Continued

Stone

- Stone will be laid with a predominantly horizontal pattern, with generally rectilinear stones
- Cast stone will be permitted as sills, headers and accents
- Stone and/or brick may be used on any and all sides any building
- Stone walls will terminate with appropriate sills, caps, or intersections with other building elements
- Synthetic stone is strongly discouraged though not forbidden.

Bays

- Bays are allowed

Doors

- All exterior doors must be steel or wood, and must be painted or stained. All exterior doors will have glass, panels, or both. Vinyl or other cladding is allowed for secondary exterior doors though strongly discouraged
- Doors are permitted to be single doors, or French doors, and may include transoms. Sliding glass doors are allowed for secondary exterior doors
- Condo lobby doors on multi family buildings may be glass or glazed
- Garage doors may be made of wood, embossed hardwood, fiberglass, wood veneer, or steel.

Windows

- Windows may be single, double or triple hung, casement, or fixed as the need dictates. Transom windows are allowed but not required.
- Windows should be square or rectangular, and vertical in orientation. Circular, half round or elliptical accent windows are also permitted.
- Transom windows may be horizontal in orientation as is traditional.
- Window lights must be vertical in proportion.
- Window frames should be wood, steel or metal clad wood. Vinyl and PVC are allowable but are

Windows, Continued

- strongly discouraged.
- Roof skylights are permitted.
- If shutters are used, they must each be one half the width of the window. Working shutters are encouraged. Shutters, if employed, will be wood or metal.
- Efforts should be made to avoid having windows facing each other on adjacent lots
- Single hung windows are allowed, though strongly discouraged.

Roofs

Roof

- Pitched roof materials must be architectural grade shingles, slate, cedar shingles, imitation slate, standing seam metal or, if appropriate, solar panels may be incorporated into the roof. Non dimensional shingles are prohibited.
- Roof configurations must be simple, and pitched or flat. Gables, hips, and small ancillary shed roofs are permissible.
- Shed roofs will be pitched in only one direction relative to the body of the building.
- Roof penetrations will be as hidden as possible, and painted matte black, a color to match the roofing material, or left the natural color of the metal.
- No more than two materials are allowed on a given roof
- Parapet roofs are allowed for row houses, single family detached, 2/2s, and multifamily buildings.

Gutters & Downspouts

- Gutters will be half round, made of aluminum or copper.
- Copper gutters should not be painted, and should be allowed to retain their copper color or weathered patina.
- Aluminum must be prebaked or powder coated.
- Downspouts will match the material of the gutter.
- Downspouts will be located in a way that reinforces the façade organization.
- Downspouts will discharge directly into beds or collection systems- discharge directly onto

Roofs, Continued

- sidewalks, leadwalks, stoops, public rights of way, and public or private sidewalks is not allowed.
- Surface discharge into public alleys and driveways is permitted.
- Detached blocks & landscape materials at points of discharge are required. Examples include riverrock or similar, and lawn conditions.

Chimneys

- Chimney enclosure materials will complement the building facade
- Spark arresters will be painted black, unadorned, and not ornamental.
- Metal rooftop flues, if used, should extend no higher than the minimum required by the building code. Chimneys may extend past the minimum based on design considerations.
- Chimneys must be integrated with the design of the buildings, with material and color to match.

Porches, Stoops and Leadwalks

- Porch floors will be painted wood, composite, stone, concrete or brick
- Porch foundations may be masonry piers with framed wood lattice, wood boards or brick infill
- Stoops may be painted metal, stone or masonry.
- Stoops may project from the building or be suppressed into facades depending on need.
- Wood stoops may be used at secondary entrances, though this is not encouraged.
- Leadwalk material may be concrete, brick or stone.
- Porch railings will be a single material, such as wood or wrought iron, aluminum or vinyl.

Balconies and Decks

- Balconies and decks are allowed, using a complementary building material and/or a composite decking material

Roof Decks

- Roof decks may incorporate some form of temporary or permanent shading, be they trellises, awnings or other shading devices
- Roof deck railings will support the architectural concepts of the building

Variety

- Variety of facade types and expression is desirable insofar as it reduces overly repetitive streets. It is NOT desirable if it encourages arbitrary variety for its own sake.
- When introducing variety on a given street, avoid varying more than one of the following per house: color, material, height.
- On Crown Park Avenue, adjacent single family houses will include greater variation than in town house sticks, including color, projections, and roof expression.
- Strings of townhouses should be composed, such as singular architectural expressions which have symmetrical compositions, or incorporating *singular* variations per house per stick of: color, material, height, and width.
- Variety should be used in strategic ways to enhance the visual scene and bring interest to the urban condition. It should NOT bring confusion and visual noise.
- Each consecutive group of three adjacent single family detached houses will have distinct elevations with varied projections, roof lines, and color. Additionally single family detached houses adjacent to one another and across the street from one another shall have different elevation.
- No color schemes shall be repeated within three consecutive houses.

MULTI-FAMILY DESIGN GUIDELINES - N5

1

Create sustainable, urban buildings that may include excellent storefront design



- Broad, welcoming front entrances are encouraged
- Gardens with local plants and tree species as well as water-garden features are encouraged
- The storefront guidelines from the N1 booklet should be followed.

2

Articulate Massing and Facades



- Promote a building design that helps animate and add interest in the overall public space experience via the interplay of light and shadow, opaque vs. transparent surfaces, texture, color and elevation depths.

3

Make front entrances clearly defined and beautiful



- Use architectural expression to clearly announce the primary entrance.
- This can be done through door surrounds, roof forms, stoops, etc.
- Porte Cocheres are allowed
- Structured parking must be hidden from the street, and it is encouraged that vehicular entries shall not be visible from the primary entrance.

4

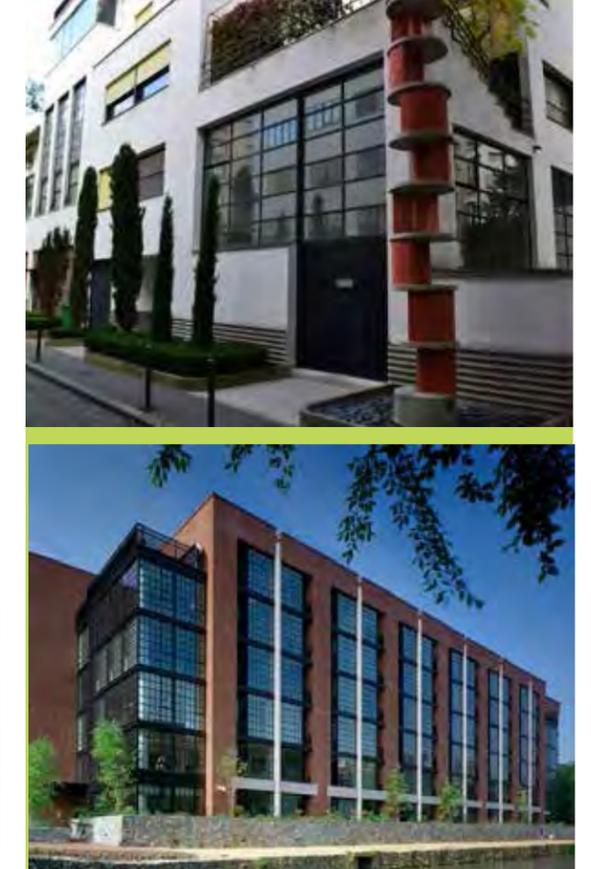
Design buildings that are contemporary but which find inspiration in traditional architecture



- Contemporary expressions of traditional architectural forms, from porches, roof forms and stoops to window details, brick patterns and geometries are all opportunities with rich possibilities for architectural exploration

5

Build buildings that use punched openings & contrasting metal bays and penthouses



- Punched openings should be the normative condition of all fenestration.
- Bays and top floor penthouses of contrasting color and material are great opportunities for architectural and design contrast.

MATERIALS GUIDELINES - N5

Walls

Building walls will be constructed of the following materials. When constructed of more than one material, changes in material are permitted along a horizontal or vertical line. Through wall mechanical units shall be thoughtfully designed into a buildings, facade camouflaged with paint/materials that are similar to the facade on which it is placed.

Building materials may include brick, stone, stucco, paneling, and/or siding, per below requirements

Brick

- Brick will be coursed in Common Bond, Flemish Bond, Herringbone, Basket Weave, or other decorative bond.
- A variety of brick colors, modules, and finishes will be allowed. Painted brick, in keeping with the traditional treatment of brick in Washington, DC and the mid-Atlantic region, is also allowed.
- Stucco and cementitious paneling are allowed
- Excluding windows, the exterior facade will be brick, stone, stucco, or siding. Courtyards may be entirely siding.

Siding

- Metal and cementitious or fiber board, or its equivalent, is an acceptable siding material where brick and stone are not required. Wood clapboard siding and board and batten running horizontally are permitted as well.
- Cementitious panels are allowed.
- Aluminum and vinyl siding are not permitted.

Stone

- Stone will be laid with a predominantly horizontal pattern, with generally rectilinear stones
- Cast stone will be permitted as sills, headers and accents
- Stone will be used continuously on all sides of the building, if it is used at all, on the building
- Stone walls will terminate with appropriate sills, caps, or intersections with other building elements

Doors

- All exterior doors must be steel, wood, glass or glazed and must be painted or stained. All exterior doors will have glass, panels, or both. Vinyl or other cladding is allowed, though strongly discouraged
- Doors are permitted to be single doors, or French doors, and may include transoms
- Garage doors may be made of embossed hardwood, fiberglass, wood veneer, or steel. Ceiling overhead doors are permitted if recessed.

Windows

- Windows may be single, double or triple hung, casement, or fixed as the need dictates. Transom windows are allowed but not required.
- Windows should be square or rectangular, and vertical in orientation. Circular, half round or elliptical accent windows are also permitted.
- Transom windows may be horizontal in orientation as is traditional.
- Window lights must be vertical in proportion.
- Window frames should be wood, steel or metal clad wood. Vinyl and PVC are allowable.
- Roof skylights are permitted.
- If shutters are used, they must each be one half the width of the window. Working shutters are encouraged. Shutters, if employed, will be wood or metal.

Roofs

- Roof configurations must be simple, and pitched or flat. Gables, hips, and small ancillary shed roofs are permissible. Flat roof are permissible for all

Roofs, Continued

buildings.

- Shed roofs will be pitched in only one direction relative to the body of the building.
- Roof penetrations will be as hidden as possible, and painted matte black, a color to match the roofing material, or left the natural color of the metal.
- Parapet roofs are allowed.

Gutters & Downspouts

- Gutters will made of aluminum or copper.
- Copper gutters should not be painted, and should be allowed to retain their copper color or weathered patina.
- Aluminum must be prebaked or powder coated.
- Downspouts will match the material of the gutter.
- Downspouts will be located in a way that reinforces the façade organization.
- Downspouts will discharge directly into beds - discharge directly onto sidewalks is prohibited.

Chimneys

- Chimney enclosure will be brick or stone, to match the base of the building.
- Spark arresters will be painted black, unadorned, and not ornamental.
- Metal rooftop flues, if used, should extend no higher than the minimum required by the building code. Chimneys may extend past the minimum based on design considerations.
- Chimneys must be integrated with the design of the buildings, with material and color to match.

Roof Decks

- Roof decks will have some form of temporary or permanent shading, be they trellises, awnings or other shading devices
- Roof deck railings will support the architectural concepts of the building
- Roof gardens, pools, bar-b-que grills and rain gardens are all encouraged

Balconies

- Horizontal band will be faced with materials complementing the building facade.

COMMERCIAL - N5

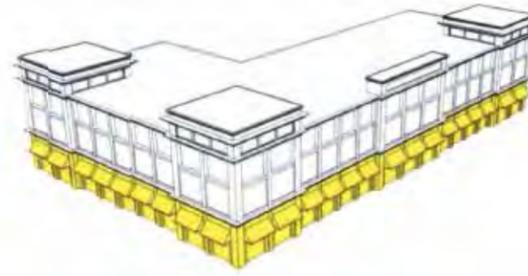
These guidelines will ensure that the commercial space within Neighborhood 5 will contribute to the overall quality of the development.

ENCOURAGED ELEMENTS

- Architectural projections such as; terraces, projections and bays.
- Storefronts provided in portions of all building street fronts.
- Combination of canopies, awnings and flat storefronts to create variety.
- A strong base that terminates at the building with well-defined second story uses that are separated by a cornice or other horizontal bending elements.
- Varying window treatments and patterns.
- Integrated wall and roof elements that screen mechanical equipment.
- Flat roofing systems with tan riverbed gravel ballast
- Sloped roofing of shingles, wood shakes simulated slate, or other materials.
- Building front walls of face brick, stone, pre-cast or wood, with masonry accents.
- Column surrounds of masonry, pre-cast concrete and/or cast stone.
- Solid, well defined building piers that define and anchor end bays and building entries.
- Rear walls constructed with a combination of brick and concrete block. Block can be combination of ground face, and center-scored block.
- Internally illuminated signs may be permitted within 20' of the public right of way.
- Icon signs are permitted

PROHIBITED ELEMENTS

- Long facades that have no vertical and/or horizontal articulation.
- Poorly defined base elements or long expanses that offer little relief to passerby.
- Buildings that extend their upper floors to the ground floor level without accommodating commercial needs.
- Signs with screened letters that are mounted flush to the facade.
- Storefronts that match neighboring retailer in color and/or design.



- Commercial space that changes in character between the upper stories and ground floor.
- Anchored storefronts at either end with a strong substantial pier to provide definitions to the space.
- Storefronts provided in portions of all building frontage.
- Combination of canopies, awnings, projections and flat storefronts to create variety.
- Varying window treatments and patterns.
- Building front walls of face brick, stone, pre-cast or wood, with masonry accents.
- Column surrounds of masonry, pre-cast concrete and/or cast stone.
- Solid, well-defined building piers that define and anchor end bays and building entries.
- Flat roofing systems with tan river bend gravel ballasts.
- Sloped roofing of shingles, wood shakes simulated slate, or other materials.
- Rear walls constructed with a combination of brick and concrete block. Block can be combination of ground face, and center-scored block.



STOREFRONT DESIGN GUIDELINES

STOREFRONT ZONE

A Storefront Zone has been identified as an area available for shop owners to extend their merchandising past the building plane without obstructing the pedestrian pathway. The storefront zone is the six feet (6') of sidewalk closest to the storefront.

THE STOREFRONT ZONE SHALL:

- Be occupied by constructed protrusions, such as bay windows or doors that open to the sidewalk.
- Include semipermanent options such as benches, pots with flowers or shrubs. These "extras" shall reflect the quality and feel of the shop or restaurant.
- Selectively utilize banners and small awnings with samplings of the color palette from the upper floors. This technique is effective in creating visual interest above 18 feet, which often fails to attract pedestrian attention along a "Main Street" condition.

PERMITTED

banners, small awnings, flower boxes, planters, benches, sculpture, bay windows, blade signs, merchandising displays

PROHIBITED

Sidewalk clutter, unmaintained street



ANATOMY OF A STOREFRONT



- | | |
|-------------------|---------------|
| ① STOREFRONT ZONE | ⑤ SIGNAGE |
| ② PEDESTRIAN ZONE | ⑥ WINDOWS |
| ③ AMENITY ZONE | ⑦ DOORS/ENTRY |
| ④ MATERIALS/COLOR | ⑧ AWNINGS |
| | ⑨ LIGHTING |

STOREFRONT DESIGN GUIDELINES



COLOR & MATERIALS

Each restaurant and shop will be provided with the maximum opportunity to uniquely display its merchandise in order to attract passing customers. Flexibility and variety in storefront colors is also an important element of a great retail environment. Colors are essential to creating a unique and exciting streetscape.

The choice of colored materials or paint is very important, when designing a storefront. Colors should be complimentary and reflect the store's unique personality.

PERMITTED

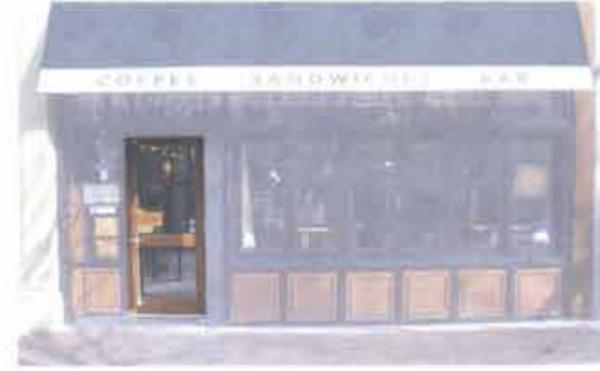
unique color palettes, wood, metal, stone, cast stone, concrete, plaster, opaque, smoked, and reflective glass should be used for accent elements

PROHIBITED

use of too many colors on an individual storefront; conflicting color schemes on adjacent storefronts; use of same color on adjacent storefronts; softwoods, EIFS, pressure treated lumber; small display/showcase windows; blank walls

STOREFRONT COLORS SHOULD BE CHOSEN, BASED ON THE FOLLOWING CRITERIA:

- Colors shall be used to tie all parts of the storefront's architecture together.
- Generally, muted colors are more appropriate for large areas and backgrounds while bright colors should be considered for accents.
- The color scheme of the storefront should take into consideration the color of the upper levels of building as well as with adjacent storefronts.
- The tenant coordinator will be responsible for approving all paint palettes.



DOORS AND FRAMES

The entry to a shop or restaurant is the most important part of any storefront, as it sets the tone for a patron's experience upon entering the establishment. The door or entryway connects the store to the sidewalk and is responsible for preparing customers for what lies inside. A door's shape, size, style and weight should be considered.

STOREFRONT DOORS AND FRAMES SHOULD BE CHOSEN, BASED ON THE FOLLOWING CRITERIA:

- Restaurants shall use their doors to connect with outdoor seating areas.
- Recessed doors are encouraged, as they provide shelter for passing pedestrians.
- Doors with a high percentage of glass are encouraged in order to increase visibility into the store's interior.
- All doors must conform to ADA regulations.
- Doors should be compatible with and complementary to the storefront's design.
- The primary entrance should be clearly marked, while side entrances should be as close to the primary street as possible.

PERMITTED

large windows, clear glass, maximum visibility, recessed doorways

PROHIBITED

adhesive window film, tinted glass, plexiglass, overly decorative doors



STOREFRONT DESIGN GUIDELINES



WINDOWS

Windows provide an opportunity for shop owners and restaurateurs to merchandise to passing pedestrians and motorists. They shall be used to display products and services, as well as to enliven the sidewalk with light, character and color.

STOREFRONT WINDOWS SHOULD BE CHOSEN, BASED ON THE FOLLOWING CRITERIA:

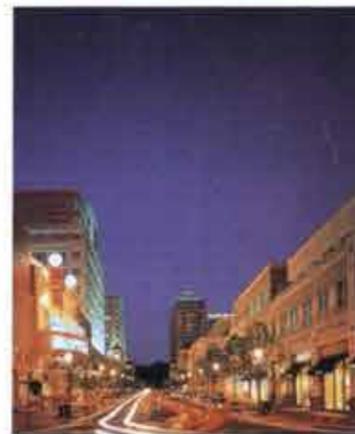
- Storefront glazing should be at least 60%. The more glass a storefront has, the more effectively merchandise can be displayed.
- Windows must not be any closer than twelve (12) inches to from ground.
- Windows should be designed for energy conservation.
- Light quality, Low- e- rated glass is recommended to minimize discoloring of merchandise.
- Large display windows establish a visual connection to the interior. They shall be flush with the window frame or slightly recessed (6 to 12 inches).
- Certain shops, such as jewelry stores or establishments with heightened security concerns, will be permitted to incorporate smaller display windows at the discretion of the tenant coordinator.

PERMITTED

large glass panes with mullions

PROHIBITED

low visibility into storefront



LIGHTING

Lighting helps define the storefront's character, contributes to the safety of the streetscape, animates the streets of Crown Farm, prolongs street life after business hours, and increases pedestrian safety.

STOREFRONT LIGHTING SHOULD BE CHOSEN, BASED ON THE FOLLOWING CRITERIA:

- Storefront facades, recessed doorways, outdoor spaces, parking areas, and passageways must be lit at all times.
- Sign lighting, including flat mounted signs, blade and banner signs, must be lit with concealed lighting, or from above with lights pointing down.
- Internal window light fixtures should be located and angled to ensure that they spotlight the tenant's merchandise, minimizing distracting reflections on the storefront windows.
- Halo-illuminated or face illuminated pan channel letters, are permitted as part of the store's identification sign.

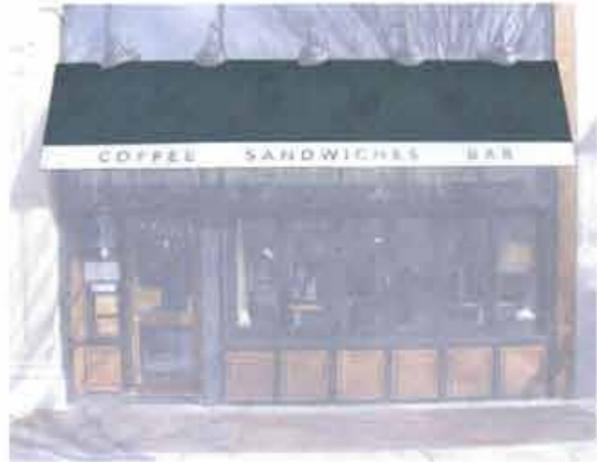
PERMITTED

concealed lighting, down lighting, internal window lighting past hours of operation, mounted pedestrian lighting, lighting that becomes signage

PROHIBITED

storefront windows that are dark before 8 pm

STOREFRONT DESIGN GUIDELINES



AWNINGS

An awning emphasizes the shop or restaurant's entrance, provides shade and may carry part of the tenant's image. They add texture to streetscape, enhance interest and introduce variety to the building facade, while protecting storefront displays from sun exposure.



PERMITTED

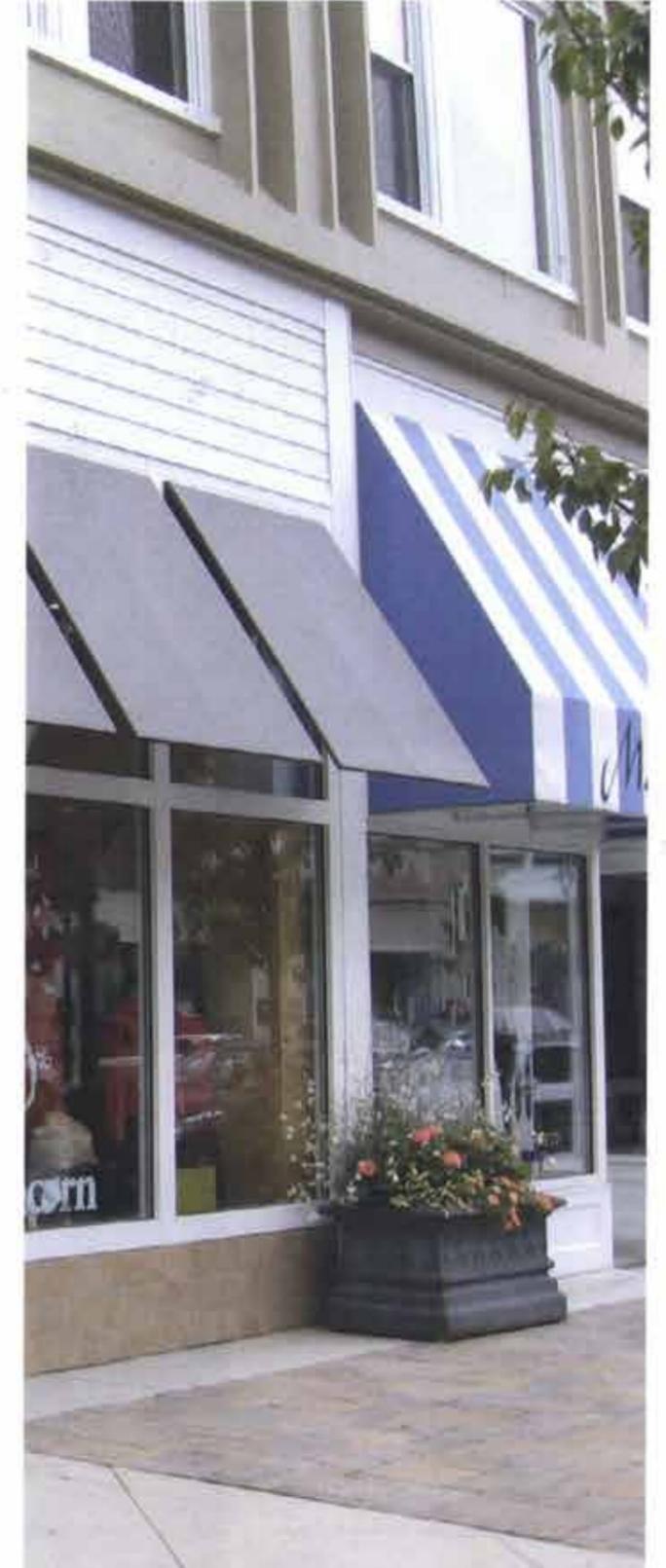
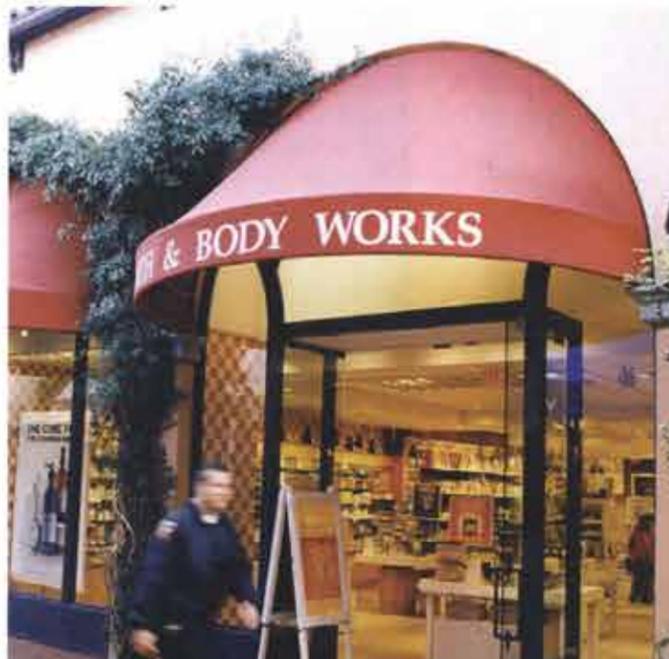
canvas, retractable awnings, wood, and metal materials in a variety of sizes and shapes among stores.

PROHIBITED

vinyl, same awning across several storefronts.

AWNINGS SHOULD BE CHOSEN, BASED ON THE FOLLOWING CRITERIA:

- Materials must be durable, fire and fade resistant.
- Retractable awnings work best with traditional storefronts, while fixed awnings are more appropriate for more modern storefronts.
- Because of the desire for visual variety on the street, the use of the same awning across several storefronts is strongly discouraged.
- Awnings should project two to five (2-5') feet from the building facade.
- So that they will not interfere with pedestrians, awnings should be mounted above display windows and below cornice or second story window sills.
- Awnings must be at least eight (8') feet above the sidewalk, at the lowest point of the awning.
- The structural supports of the awning should be finished to match or complement the awning fabric.

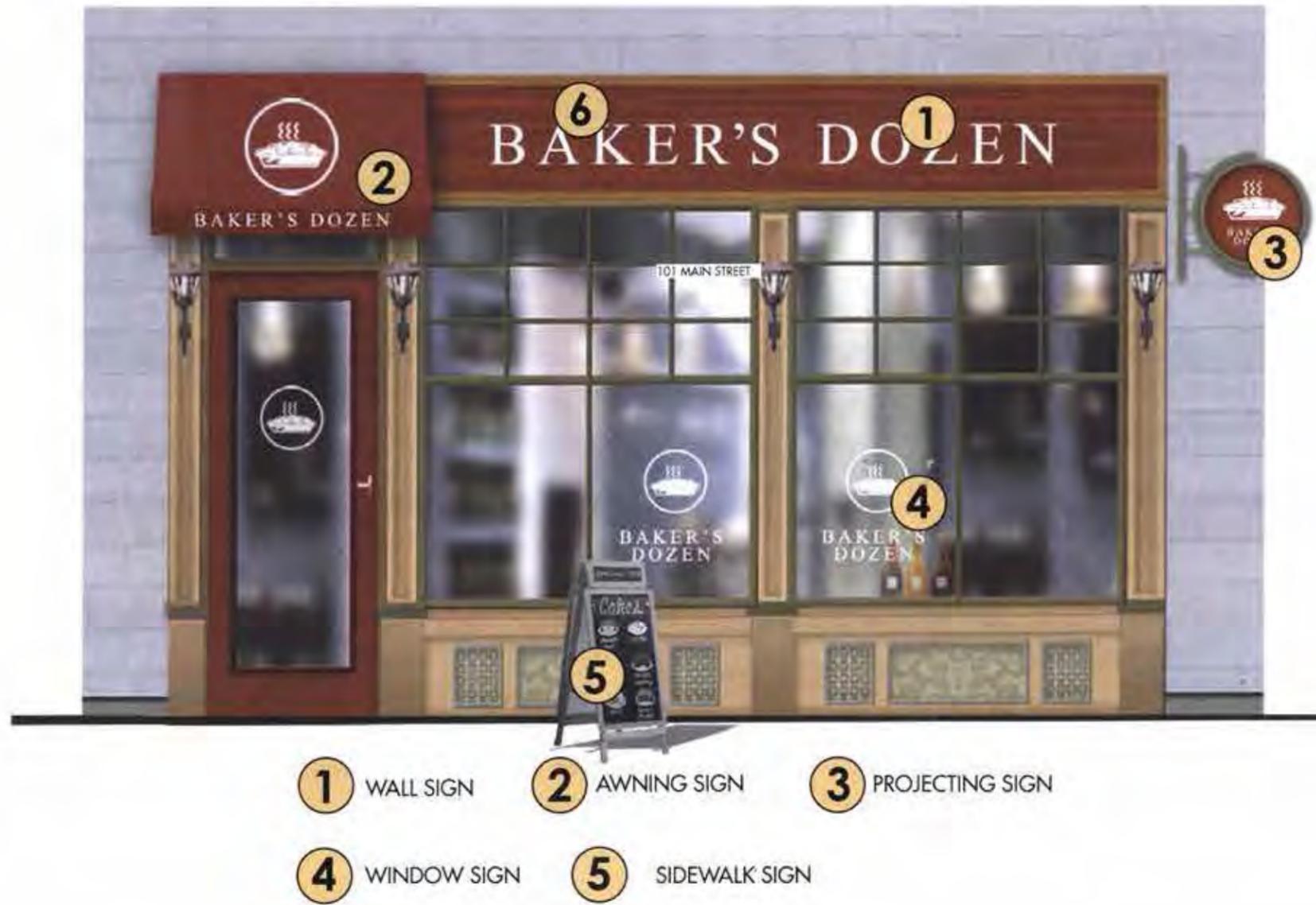


STOREFRONT SIGNAGE GUIDELINES

Storefront signage should reflect the retailers style and creativity while utilizing high quality materials and complimenting the overall storefront design. Each component of storefront signage contributes to the overall look and character of the storefront which contributes to the overall feel of the streetscape.

STOREFRONT SIGNAGE MAY CONSIST OF THE FOLLOWING COMPONENTS:

- Identity Sign
- Canopy/Marquee Signs
- Wall Mounted Signs
- Awning Signs
- Projecting Signs
- Window Signs
- Plaque Signs
- Menu Boards
- Banner Signs



STOREFRONT SIGNAGE DESIGN GUIDELINES

Storefront signage is the single most important element of any retailer's storefront design. A successful storefront signage program is one that layers various elements on top of one another to create visual interest and a recognizable brand character.

In order to prevent retailers from over-signing their storefronts, which would have a negative impact on any storefront design, the sum of all sign area erected on any storefront face may not exceed the maximum allowable signage area. Storefront signage will only be permitted on facades that have street frontage.

Retailers with more than one street frontage are granted more signage.

CALCULATING THE MAXIMUM ALLOWABLE SIGNAGE AREA OF A STOREFRONT

All storefronts within Crown Farm may contain anywhere from one to seven pieces of signage. Once the maximum allowable signage area is calculated, it may be distributed among the following sign types:

- Canopy Sign
- Projecting Sign
- Sidewalk Sign
- Banner Signs
- Awning Sign
- Window Sign
- Wall Mounted sign

Inline Retailers:

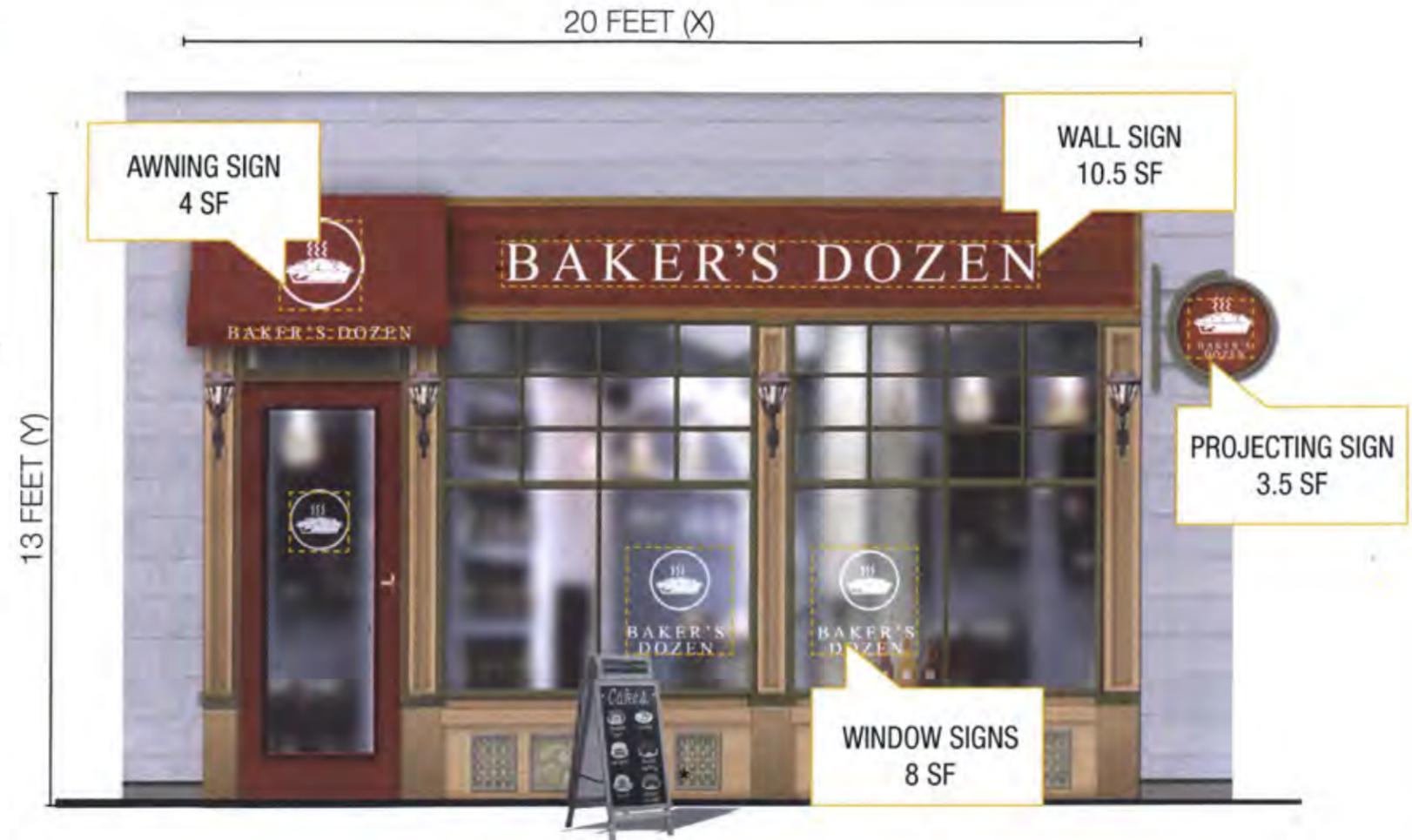
To calculate the Maximum Allowable Signage for a storefront:

1. Calculate the storefront area (Z). Storefront width(X) x Storefront height(Y)=Z
2. Multiply the storefront area by 10 percent. $Z \times .10 = \text{Maximum Allowable Signage}$
3. No maximum allowable signage shall exceed 200 Square Feet.
4. No maximum allowable signage may be less than 25 Square Feet.

Retailers with more than one frontage (PAD TENANTS INCLUDING GROCERY):

Retailers with more than one street frontage are granted more signage. To calculate a gross Maximum Allowable Signage for this type of tenant:

1. Calculate the storefront area (Z) for each frontage. Storefront width(X) x Storefront height(Y)=Z
2. Multiply each storefront area by 10 percent (.10). $Z \times .10 = \text{Maximum Allowable Signage}$
3. Add the Maximum Allowable Signage area for each frontage together.
4. The gross Maximum Allowable Signage area may be distributed in any combination of signs among the storefront facades with street frontage.



$$1. \text{WIDTH}(X) \times \text{HEIGHT}(Y) = \text{STOREFRONT AREA } (Z) \quad 20\text{FT} \times 13\text{FT} = 260 \text{ SQ FT}$$

$$2. \text{MAXIMUM ALLOWABLE SIGNAGE} = 260 \text{ SQ FT} \times .10 = 26 \text{ SQ FT}$$

AWNING SIGN		WINDOW SIGN		WALL SIGN		PROJECTING SIGN		PROJECTING SIGN
4 SF	+	8	+	10.5 SF	+	3.5 SF	=	26 SF APPLIED SIGNAGE

The Maximum Allowable Signage for the storefront may be distributed to various types of signage. The sum of each storefront's signage elements, (window signage, projecting signage, identity signage, etc.) may NOT exceed 200 square feet for inline retailers. Retailers are not required to max out their signage allowance.

Please note that sidewalk signs should not be included in this computation.

STOREFRONT SIGNAGE DESIGN GUIDELINES

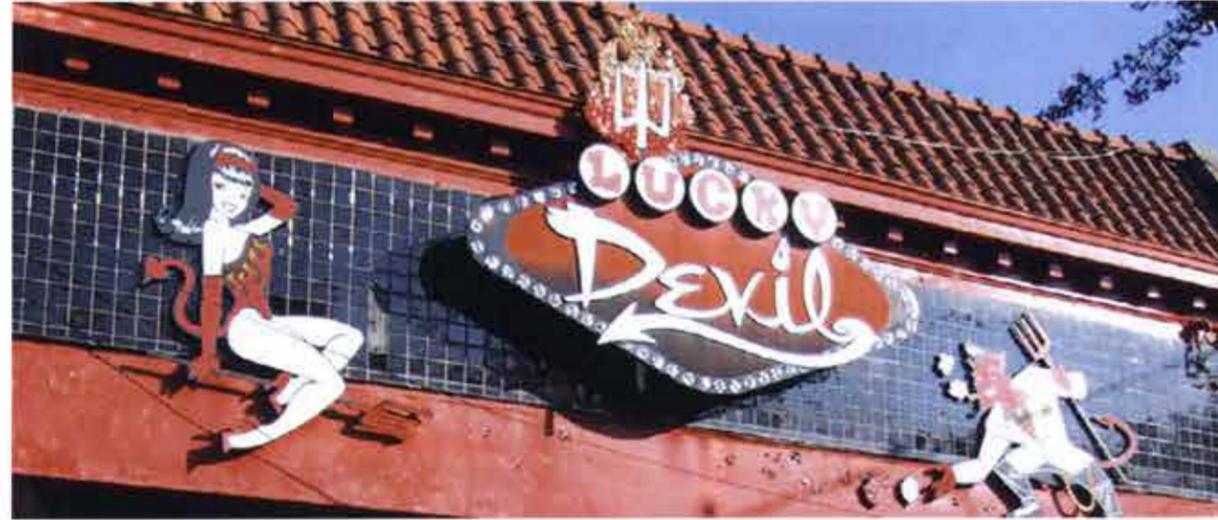


WALL MOUNTED SIGNS

Wall mounted signs are a predominant signage feature of retail/restaurant tenants. This sign should be easily read, or appropriate size, and include the store's logo and appropriate typeface. This sign should be made of high quality materials that can withstand all weather conditions. Appropriate measures should be taken to ensure that all signage is clean and clearly visible at all times.

Wall-Mounted Signs and must adhere to the following technical regulations:

- Shall be securely fixed to the building or structure.
- May not project more than twelve inches (12") from the building or structure.
- Must be placed so that it does not obscure windows, doors or decorative building elements.
- Lettering shall be a minimum of ten inches (10") high, but no taller than forty inches (40"), to ensure readability.
- Individually illuminated (LED or Neon) channel letters with an acrylic face are permitted.
- Internally illuminated box signs are not permitted.
- Internally illuminated signs are permitted within 20' of street edge.
- May not exceed the maximum allowable signage area (see page 86.)
- Icon signs are permitted.



STOREFRONT SIGNAGE DESIGN GUIDELINES

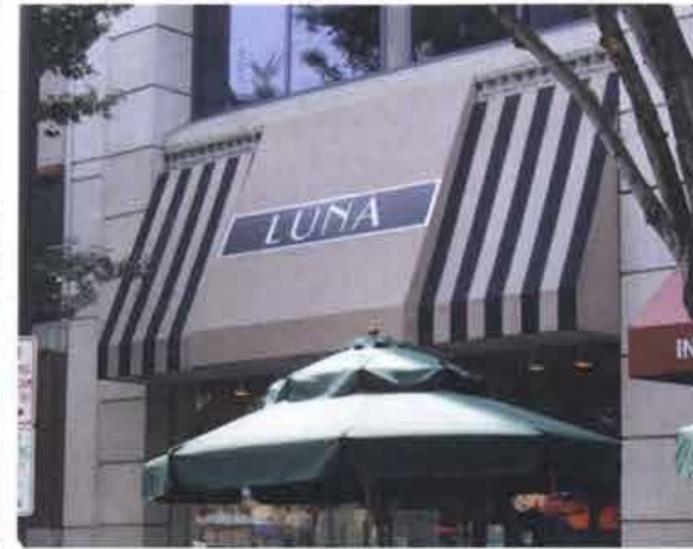


CANOPY/MARQUEE SIGNS

If canopy/marquee signs are used, they should be made of the highest quality materials and be designed to withstand all weather conditions. These signs must be permanently affixed to the building and be architecturally designed and fastened.

CANOPY/MARQUEE SIGNS MUST ADHERE TO THE FOLLOWING TECHNICAL REGULATIONS:

- The text area on a canopy or marquee sign shall not exceed an area equal to 25% of the face area of the canopy/marquee itself.
- Example: If the canopy/marquee is 10 linear feet wide, then the actual letters that make up the text of the signage may not exceed 2.5 square feet.
- Graphic striping, patterns or color bands on the face of a building, canopy, marquee or architectural projection shall not be included in the computation of sign copy area.
- Lettering shall be a minimum of ten inches (10") high, but no taller than thirty inches (30"), to ensure readability.
- May not exceed the maximum allowable signage area.
- Marquee signs may project into public R.O.W.



AWNING SIGNS

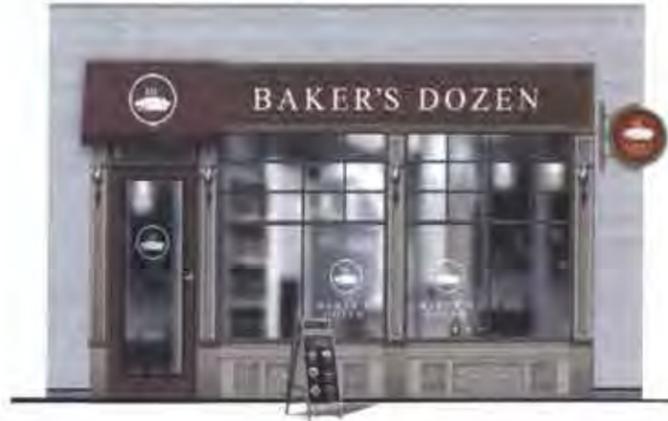
An awning emphasizes the shop or restaurant's entrance, provides shade and may include part of the tenant's image. They add texture to streetscape, interest and variety to the building facade, while protecting storefront displays from sun exposure.

AWNING SIGNS SHOULD ADHERE TO THE FOLLOWING TECHNICAL REGULATIONS:

- The copy area of awning signs shall not exceed an area equal to 40% of the background area of the awning.
- Signage can be placed anywhere on the awning, including the valence area.
- Neither the background color of an awning, graphic treatment or embellishment, such as striping, patterns or valences, shall be included in the computation of sign area.
- Lettering shall be a minimum of ten inches (10") high, but no taller than thirty inches (30"), to ensure readability.
- May not exceed the maximum allowable signage area.



STOREFRONT SIGNAGE DESIGN GUIDELINES



PROJECTING SIGNS

Storefront signage takes on many forms. A popular signage option is the use of projecting signage. This signage is permanently affixed to the storefront and can easily be seen by pedestrians on the sidewalk and by passing cars.

PROJECTING SIGNS SHOULD ADHERE TO THE FOLLOWING TECHNICAL REGULATIONS:

- Signs may not extend vertically above the sign height line of the facade upon which it is mounted.
- Projecting signs may not project more than forty-two (42") from the building.
- Signs shall maintain a minimum vertical distance of eight (8') feet above any sidewalk.
- Lettering shall be a minimum of four inches (4") high, but no taller than thirty inches (30"), to ensure readability.
- May not exceed the maximum allowable signage area.
- Projecting signs are permitted beneath awnings.



BANNER SIGNS

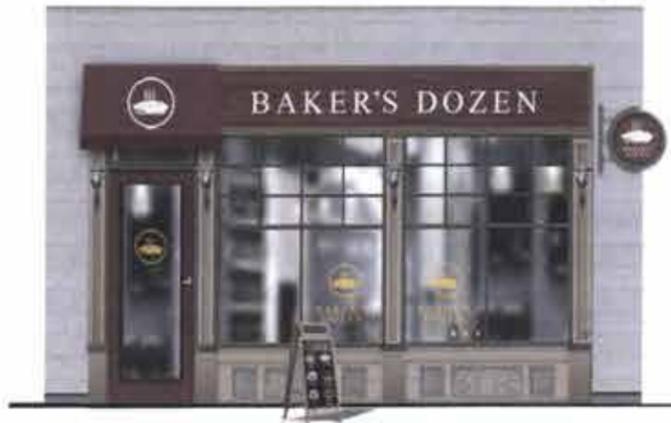
Banner signage is an effective way to unify the look and character of all floors of a building. These signs can be seen from great distances and provides a target for visitor's navigating through the development.

BANNER SIGNS SHOULD ADHERE TO THE FOLLOWING TECHNICAL REGULATIONS:

- Only selected retailers may utilize banner signs.
- All banner signs must be approved by Ownership.
- Banner Signs may not project more than three feet (3') from the building facade.
- Multiple banners may be hung from any one storefront.
- Banners shall be safely secured to a wall or roof by metal couplings or fittings.
- Banner Signs may not cover windows or doors.
- Banner Signs may only be used on upper floors of buildings. No banner signs will be permitted on the ground floor.
- Lettering shall be a minimum of ten inches (10") high, but no taller than thirty inches (30"), to ensure readability.
- Banner material MUST be made of durable exterior materials, excluding vinyl. Suggested materials are mesh and metal (engineered to withstand windy conditions.)
- Banner signs may be displayed permanently as long as they are maintained regularly to ensure colors have not faded and that installation is secure.



STOREFRONT SIGNAGE DESIGN GUIDELINES

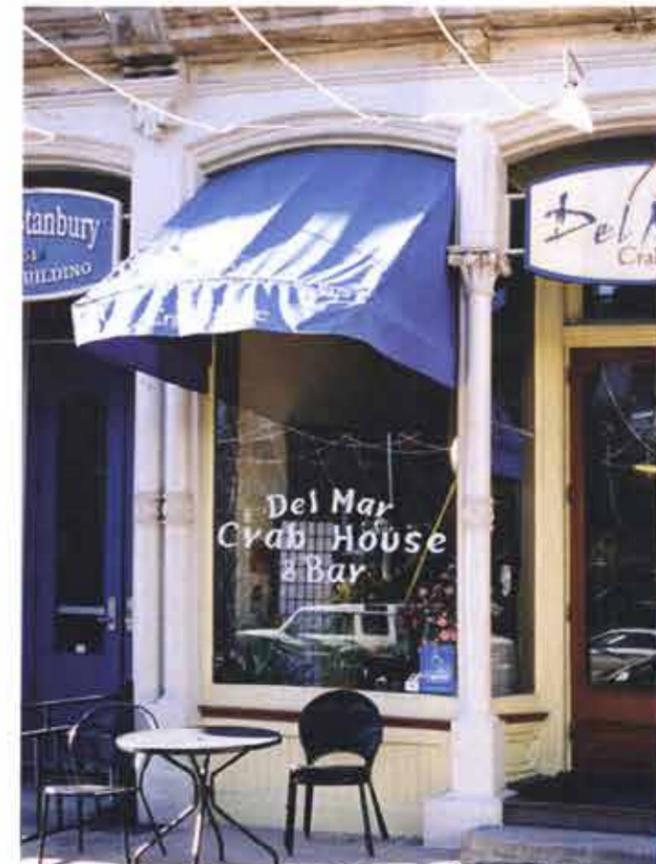


WINDOW SIGNAGE

Window signage enhances the storefront by reiterating the style and overall character of the store. Window signage is a great opportunity for the shop owner to reinforce their brand identity.

WINDOW SIGNS SHOULD ADHERE TO THE FOLLOWING TECHNICAL REGULATIONS:

- Painted window signs must be maintained at all times.
- Glass etching is the preferred method for window signage.
- May not cover more than fifteen percent (15%) of a storefront's window area.



FREESTANDING SIDEWALK SIGNS

Sidewalk signs are an ideal way to notify pedestrians of store promotions and daily specials. Although they are temporary and may only be displayed in the storefront zone, sidewalk signs are a popular marketing choice among store owners.

SIDEWALK SIGNS SHOULD ADHERE TO THE FOLLOWING TECHNICAL REGULATIONS:

- One sidewalk sign per business can be displayed in the Storefront Zone.
- Sidewalk signs shall be made of durable materials such as wood, aluminum, metals, fiber glass, tile, MDO, or other similar materials.
- Sidewalk signs shall not be illuminated.
- Sidewalk signs shall be no larger than six square feet.
- All sidewalk signs shall be taken in at the close of business.



LEASING SIGNAGE

Vacant, dark, bare storefronts during initial lease up and throughout the life of the Crown Farm development are prohibited. Dark spaces convey the wrong message to consumers, residents, and the community at large, creating the notion that the streetscape character is cold and unwelcoming, driving potential consumers away. During initial lease up and intermittent tenant turnover, all unleased spaces shall utilize full-length graphics as a place holder for what may be to come. These full-length graphics should be used creatively to echo a development wide marketing campaign or to illustrate a faux storefront. These graphics are important to create continuity along the façade during this transitional time.

- Graphics should not repeat along three consecutive storefront windows/spaces.
- Any graphics placed on the exterior of retail spaces shall be made of outdoor vinyl and adhered to a durable substrate (provided retail windows or plywood.)
- Graphics should completely cover the void space behind the façade and eliminate views within.
- Consideration must be taken to still allow access to the retail space.
- Although varied, all vacant storefront designs should be of similar voice and sentiment.



LANDSCAPE AND HARDSCAPE

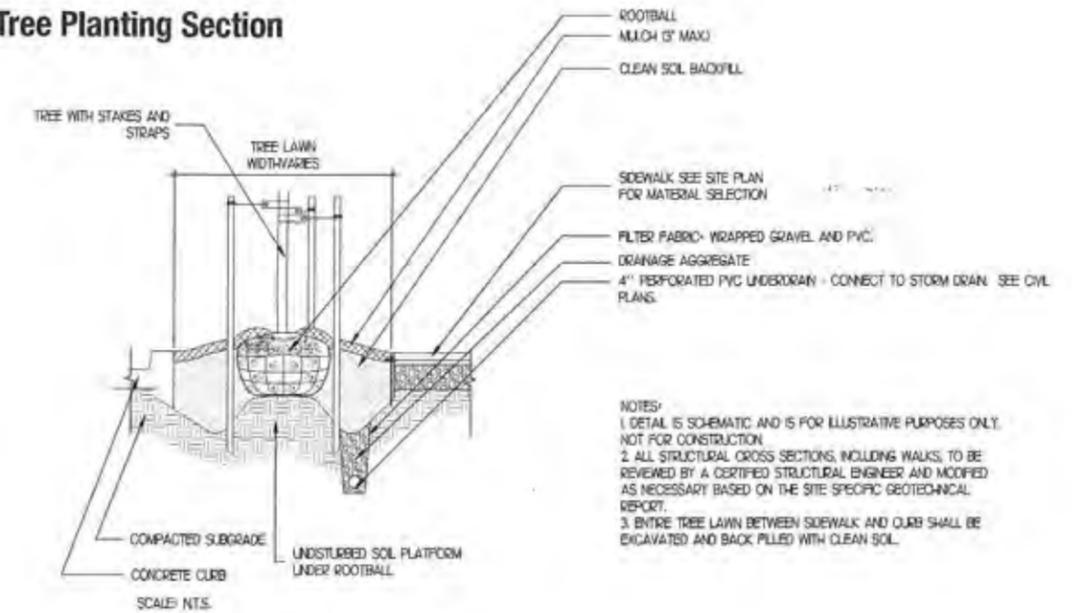
3

GENERAL LANDSCAPE GUIDELINES

Landscape material selections will respond to the surrounding architecture and will reinforce and define the public open space within the site. In general, street tree species will correspond to the specific street type on which they are located. This will help define the overall hierarchy of street connections and create clear pedestrian and vehicular zones. Overall landscape selections, other than street trees, will be based on year-round interest, the ecology of the site, the need to define spaces, hierarchy of plant material, and the theme of the design. To the extent possible, regional and indigenous species are to be integrated into the planting designs. Deciduous material will have an evergreen background, and all seasonal color will be planted to the front of plant beds. There will be a diverse mix of plant species to avoid monoculture and ensure seasonal interest. All plant beds and tree wells will be fully prepared per the specifications as submitted on final site plans.

1. Landscaping is required for all development with Crown and may include deciduous, evergreen, or ornamental trees, shrubs, ground covers, perennials, and seasonal color (annuals). Landscape plantings must comply with the approved planting plans that are part of the City of Gaithersburg final site plan, as well as these guidelines. Invasive plant material will not be used.
2. Street trees will be provided according to the approved City of Gaithersburg Site plans; all street trees will be deciduous.
3. Plantings will be installed at or exceeding the following minimum sizes to ensure good initial appearance:
 4. Plants will be selected based upon their ultimate height, width, and growth habit in relation to the space where they will be planted. When planted adjacent to buildings, plantings should not obscure the building's architectural features.
 5. Plantings (other than street trees) will include evergreen plants to ensure year round framework for planting areas and visual interest.
 6. Landscape selections are shown as examples and do not constitute final street tree selections. Additional species may be added at time of final design and are subject to review and approval by owner and City of Gaithersburg.
 7. Final architecture, utility locations and alley configuration will dictate landscape design and plant selections.
 8. To the extent possible, landscape material will conform to the City of Gaithersburg Tree Manual and "Native Plants for Central Maryland Landscapes" by the Maryland Cooperative Extension.
 9. Three foot clearance from any walk

Tree Planting Section



GENERAL LANDSCAPE GUIDELINES

Sidewalk Planting Strips

Landscaping includes sidewalk planting strips and plantings in tree basins. These are most appropriate where frequent pedestrian traffic between parked cars is not expected, or where a pedestrian path cannot be provided for people moving between the sidewalk and the parked cars. This sort of landscaping is a simple but effective addition to the streetscape, and offers a real ecological value to the community.

Landscaping:

- Reduces impervious surface and associated surface runoff
- Naturally treats storm water and improves water quality
- Provides infiltration and groundwater recharge
- Improves and provides habitat
- Adds aesthetic value and promotes community stewardship
- Provides a buffer between the sidewalks and the street, increasing pedestrian comfort
- Landscaped planting beds offer opportunities to provide visual interest and greenery that changes throughout the year

Ivy and other invasive species of ground cover are prohibited. Tall, dense hedges should be avoided because they tend to limit visual access and accessibility.

Understory landscaping will include drought tolerant species. Deep rooted native drought tolerant species have many benefits, including tolerance to local variances in precipitation, the reduced need for irrigation, increasing the permeability of the soil, and the ability to filter pollutants.

Planting strips can be designed to detain, cleanse and slowly infiltrate the storm water. During significant storm events, overflow can be directed from one planter to the next.

Green Streets

As briefly described above, where planting strips alongside streets and sidewalks are used to deal with stormwater, they will be known in the documents as Green Streets. Through the use of Bio-Swales or similar technology, these green streets will not only be practical, but they can be seen as an opportunity to beautify the public realm. Plant species (grasses, shrubs and trees) that are native and tolerant of these sorts of conditions should be used.



OPEN SPACE DIAGRAM



Pond

Crown has many important characteristics related to its unique location, and proximity to major amenities and natural environment. A pond located in southern part of the development is one of these unique places. Planning and design strategies should allow residents and visitors to engage the water's edge and offer an opportunity to interact with nature.

Pocket Parks

Pocket parks and smaller open spaces throughout the site, including linear parks and courts, will be designed primarily for small scale gatherings, passive recreation, and in some cases, linkages between and to larger open spaces.

Pocket parks will include small areas of repose, benches, walking paths and small gardens.

Neighborhood Parks

Neighborhood parks within Crown will serve as both community gathering spaces and focal areas for the various individual neighborhoods that make up the site. Parks will be designed to provide a variety of passive and active recreation opportunities for all age groups, as well as to reinforce the identity of their specific neighborhood.

Playground facilities, benches, and gardens will be found within the neighborhood parks. Some hardscape areas of formal design will be mixed in with less formal large areas of green.

Green Streets

Green streets are incorporated along Crown Park Ave to enhance overall water quality while also adding aesthetic value to Crown's main pedestrian thoroughfare.

TREE PALETTE AND DESIGN GUIDELINES

On roads maintained by Public Works, the City of Gaithersburg may require a specific tree and shrub species. Tree and plant species may include but not be limited to the species shown below:

Potential Street Tree Species

- Red Maple*
- Sugar Maple*
- Willow Oak*
- Linden*
- Valley Forge Elm*
- Hornbeam*
- Black Gum*
- Sweet Gum (seedless)*
- Red Oak*
- Pin Oak*



Red Maple



Sugar Maple



Willow Oak



Linden



Sweet Gum



Pin Oak

Potential Evergreen Tree Species

- Nellie Stevens Holly*
- Eastern Red Cedar*
- American Holly*
- Southern Magnolia*



Nellie Stevens Holly



Eastern Red Cedar



American Holly



Southern Magnolia

Ornamental Trees

The use of ornamentals on the grounds is highly encouraged. Any of the various species from the previously approved palette are acceptable.



Potential Ornamental Tree Species

- Redbud*
- Sweetbay Magnolia*
- Crepe Myrtle*



Redbud



Sweetbay Magnolia



Crepe Myrtle

Ornamental Shrubs and Grasses

Liberal use of the palette of shrubs and ornamental grasses is encouraged on the grounds



Street and Shade Trees

The street trees along the streets are encouraged to be used to create a pleasant green neighborhoods and provide necessary shadow.



TREE PALETTE AND DESIGN GUIDELINES

Potential Shrubs
Summersweet
Spirea
Dwarf Fothergilla
Azalea
Viburnum
Dwarf Cherry Laurel



Summersweet



Spirea



Dwarf Fothergilla



Red twig Dogwood



Viburnum

Potential Ornamental Grasses
Karl Foerster Feather Reed Grass
Dwarf Fountain Grass
Tufted Hair Grass



Feather Reed Grass



Tufted Hair Grass

STREET TREES

STREET TREES

Street trees are one of the most important streetscape elements. Their height, canopy width, shade, and color set the tone for the streetscape, act as a traffic calming device to help protect pedestrians, and shield other streetscape elements from the sun. Tree species will be selected by street, based on the street's width, primary use, and available planting well size. Appropriate tree species selection and location will ensure the healthy growth and longevity of trees and maximize the neighborhood's overall value.

LOCATION AND SPACING

Street tree location will be dictated by the species and have a minimum of 30' spacing. Tree spacing should create a continuous canopy and buffering effect between the roadway and the sidewalk.

VERTICAL CLEARANCE

Choosing a tree species that has an appropriate canopy height is of the utmost importance. A vertical clearance of 80 inches is required above sidewalks and 14' above roadways.

TREE WELLS

Three types of tree well conditions will be utilized throughout Crown Farm.

Condition 1/Low Intensity: Open tree well with under plantings.

Condition 2/Low Intensity: Open tree with mulch.

Condition 3/High Intensity: Surrounded by paving on all four sides.

Residential streets will be considered to have a lower-intensity of traffic while public and commercial streets will be considered to have a higher-intensity of traffic.

Tree wells containing underplantings shall consist of evergreen shrubs and/or seasonal color. Proper drainage shall be provided, and optional utility connections (such as outlets for tree lights and decorations) shall be approved by the City of Gaithersburg. All tree planting wells shall be fully excavated and backfilled with clean, debris free soil in order to ensure maximum viability of street trees.

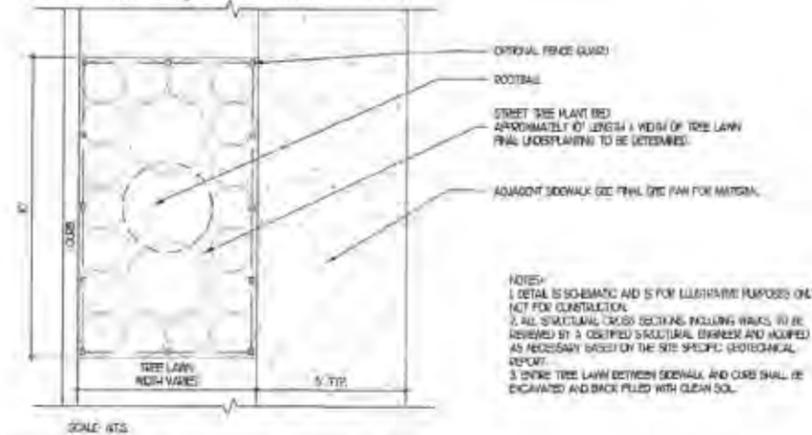
In addition, a biobarrier shall be used when planting trees within five feet of storm drain pipes.

MAINTENANCE

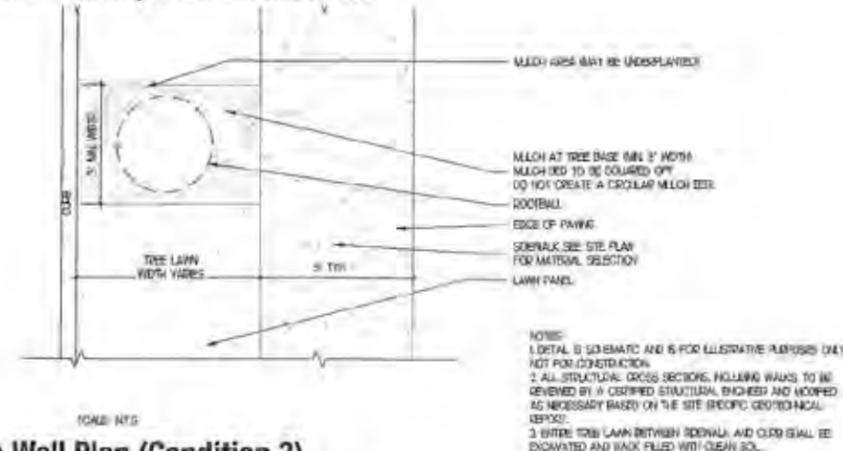
- Pruning should be conducted under the supervision of a certified arborist.
- On the pedestrian side of the sidewalk or median, the lowest branch that extends over the path of travel should provide an 80" minimum vertical clearance.
- On the vehicular traffic side of the sidewalk or median, the lowest branch should provide a 14 foot minimum clearance where branches extend beyond the curb or driveway.
- Tree foliage should be maintained to provide a minimum 6 foot clearance from any public streetlight.
- Trees should be pruned for 1 to 2 feet clearance to building façade and building signage.
- Proper pruning and regular maintenance of trees will allow for trees to develop healthy, retain their natural form, and ensure they do not pose a safety hazard to the public.

NOTE: SEE TREE PLANTING DETAILS INCLUDED IN THE SDP BY THE CITY OF GAITHERSBURG (MARYLAND STATE FOREST CONSERVATION TECHNICAL MANUAL)

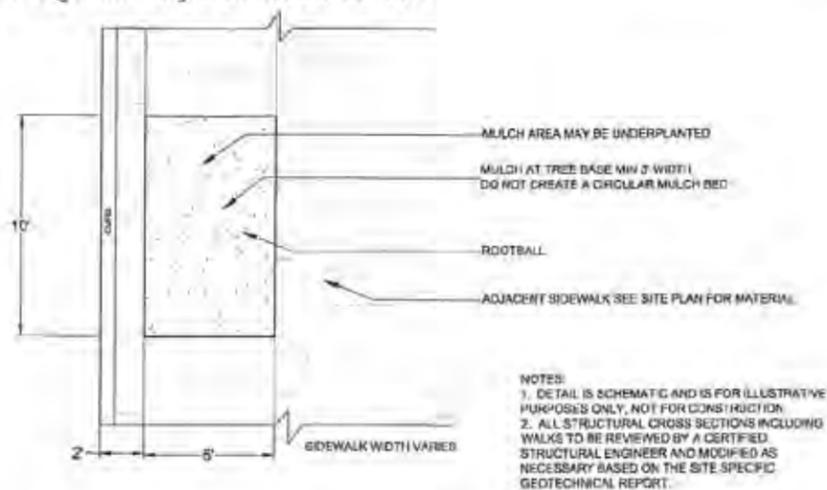
Tree Well Plan- Underplantings (Condition 1) For Medium-Intensity Residential Streets



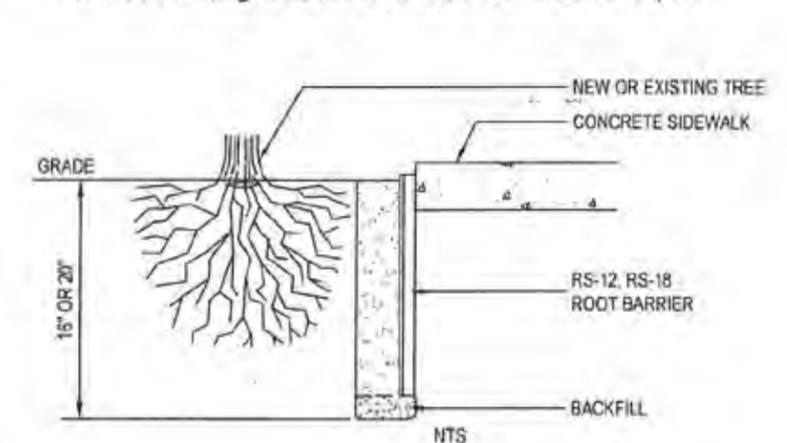
Tree Well Plan- Mulch (Condition 2) For Low-Intensity Residential Streets



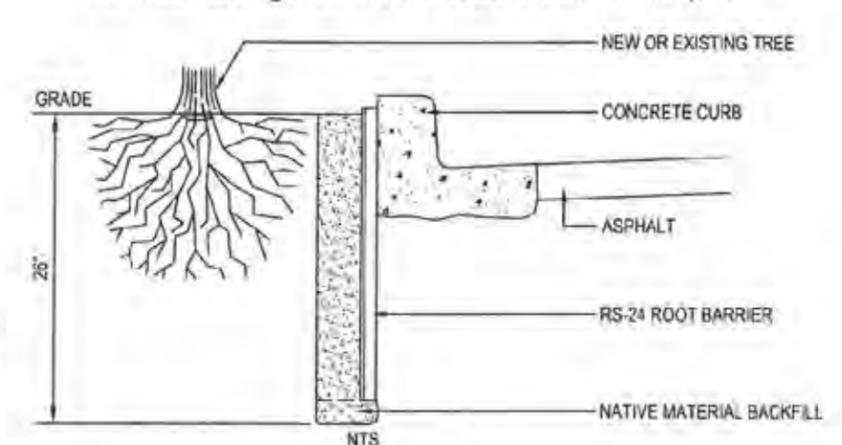
Tree Well Plan (Condition 3) For High-Intensity Commercial Streets



Tree Well Section- Biobarrier (Option 1) For Tree Plantings Within Five Feet of Storm Drain Pipes



Tree Well Section- Biobarrier (Option 2) For Tree Plantings Within Five Feet of Storm Drain Pipes



NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.
3. THE RAISED ROOT GUIDING RIBS MUST BE FACING TOWARDS THE TREE ROOTS.
4. THE TOP OF THE BARRIER PANELS MUST BE SLIGHTLY ABOVE GRADE (NEVER BELOW GRADE).
5. POSITION BARRIER PANELS VERTICALLY WITH TOP AGAINST THE STRUCTURE TO BE PROTECTED.
6. SEE LANDSCAPE SITE PLAN TO DETERMINE TREES THAT REQUIRE BARRIER PANEL.

BIORETENTION

BIORETENTION

Bioretention facilities combine storm water runoff control and treatment with aesthetic landscaping and architectural detail. These landscaped areas are used to collect, filter, and infiltrate runoff from roofs, streets and sidewalks and are designed to incorporate many of the pollutant removal and infiltration functions that operate in natural ecosystems.

This is achieved by filtering pollutants through soil particles and vegetation as the water percolates through the system. In addition to providing pollution reduction, bioretention facilities can be used to manage runoff flow rates and volumes, thus reducing the downstream potential for combined sewer overflows.

Swales are long narrow landscaped depressions primarily used to collect and convey stormwater and improve water quality. They remove sediment and reduce nutrient concentration within runoff through natural treatment prior to discharge into another stormwater management facility or the sewer network. In addition to providing pollution reduction, swales also reduce runoff volumes and peak flow rates by detaining stormwater. Swales add significant landscaping to street corridors and reduce impervious surface. In some circumstances, rainwater infiltrates into the ground while being conveyed along the length of the swale.

Several forms of swales exist and are highly customizable. Natural swales are depressed linear features that combine appropriate plantings with amended soils. Bioinfiltration swales typically subsurface infiltration trench below amended soil.

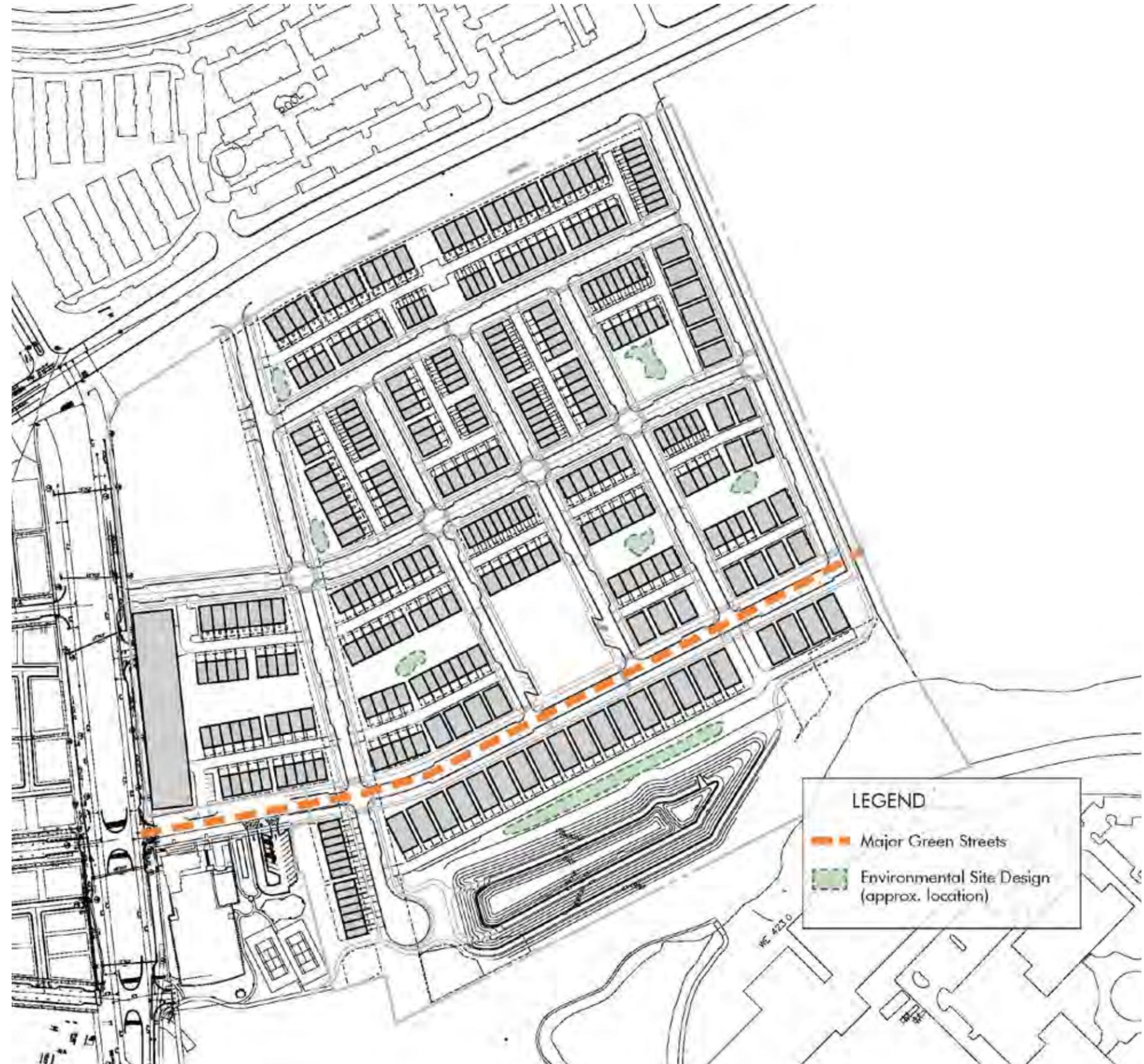
PLACEMENT

Swales are suitable for many street types with long, unconstrained areas, such as within medians or the outside edge of a street. Swales can be located in the furnishing zone of streets with unbroken curb edges, such as streets without parking lanes or many driveways. Frequent driveway curb cuts and subsurface utilities may minimize the appropriateness of installing a swale.

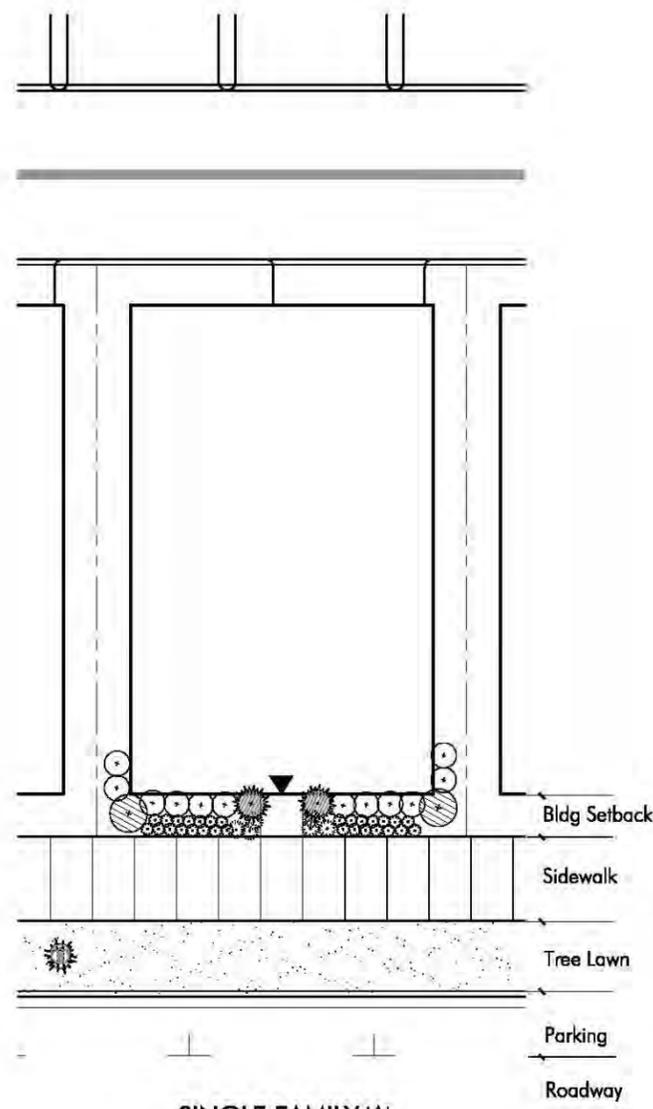
LANDSCAPING

Filtration benefits of swales can be substantially improved by planting deep-rooted grasses and by minimizing the side slope.

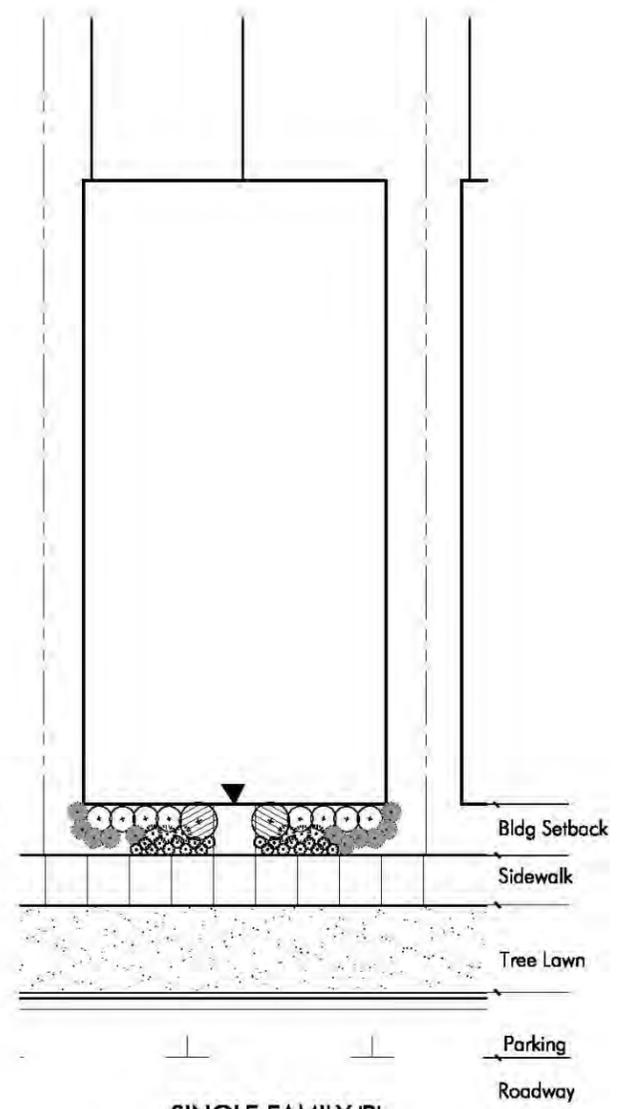
Appropriately selected vegetation can improve infiltration functions, protect the swale from rain and wind erosion and enhance overall aesthetics. Selected species should not require irrigation after establishment.



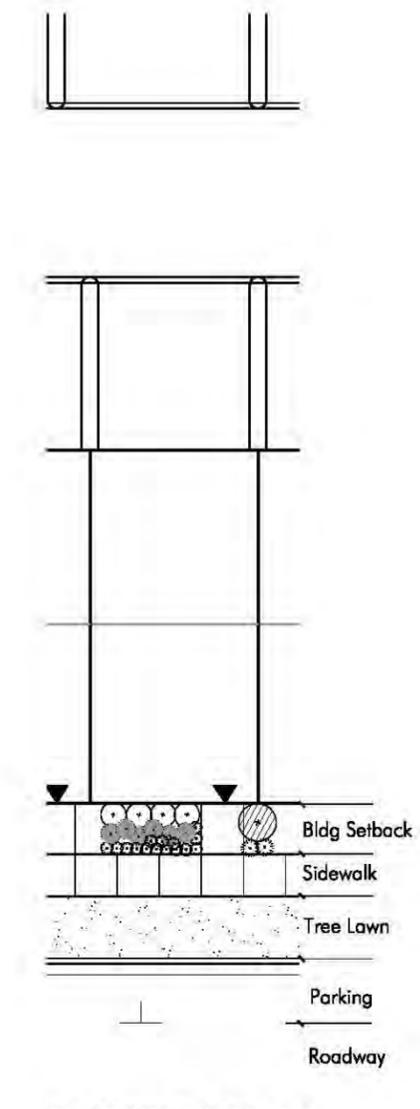
UNIT TYPICALS - LANDSCAPE MATERIALS



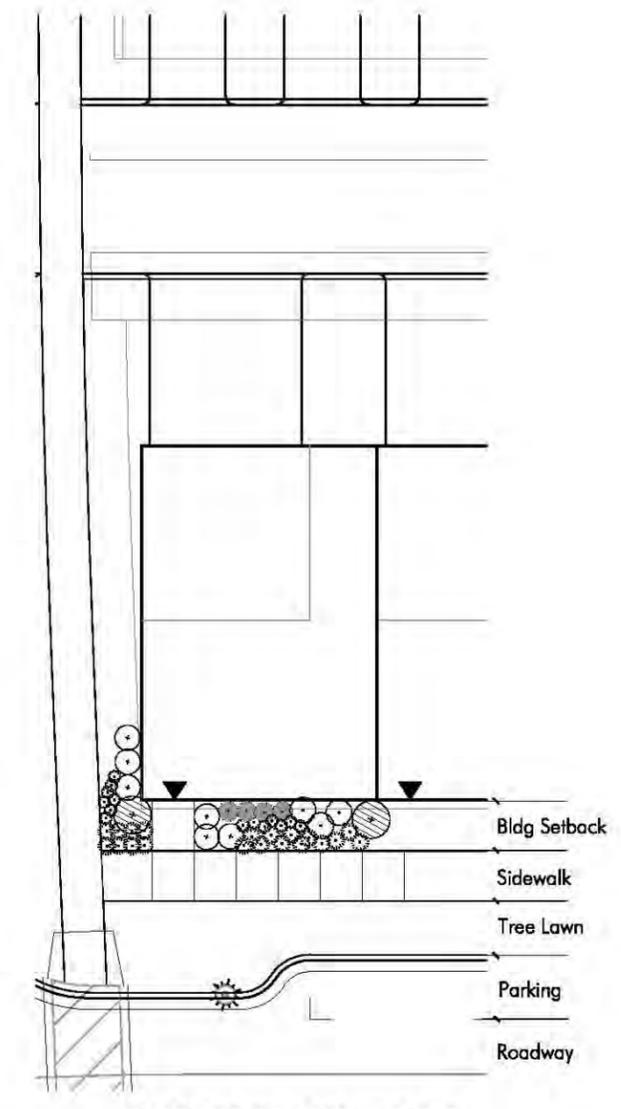
SINGLE FAMILY 'A'
REAR LOADED GARAGE



SINGLE FAMILY 'B'
REAR LOADED GARAGE



TOWNHOUSE 16- 28'
REAR LOADED GARAGE



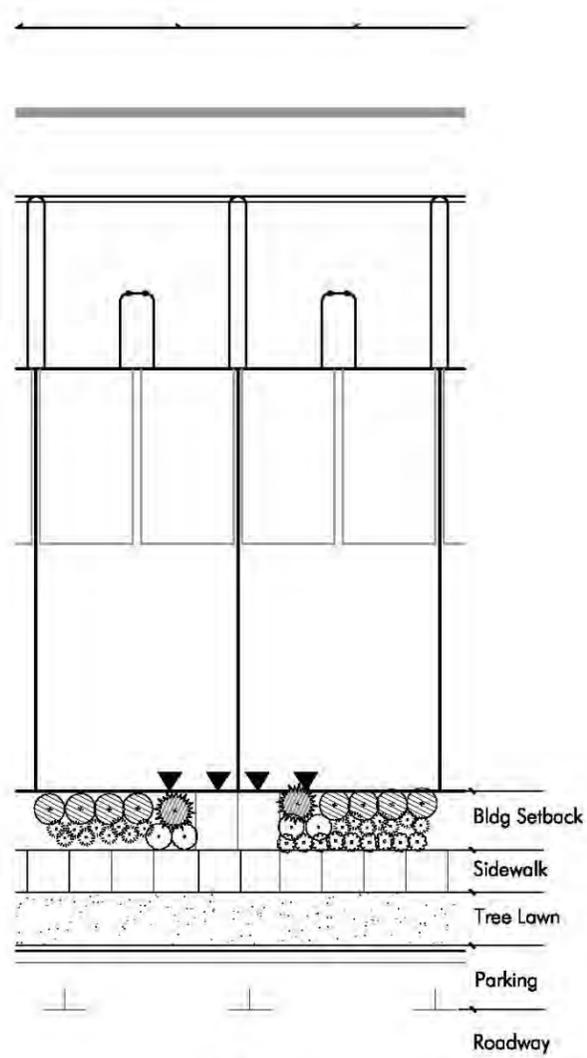
TOWNHOUSE END UNIT 28'
REAR LOADED GARAGE

LEGEND

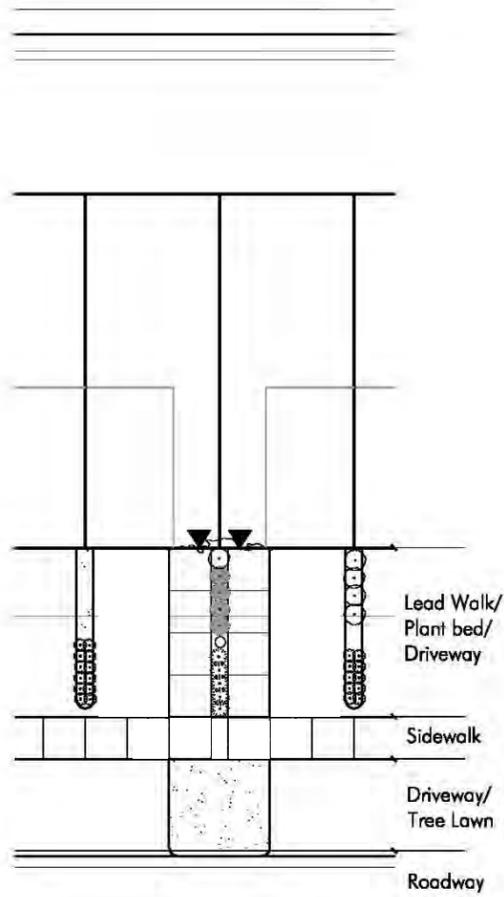
-  EVERGREEN SHRUB
-  DECIDUOUS SHRUB
-  PERENNIAL OR ORNAMENTAL GRASS

NOTE: ALL PLANS ARE CONCEPTUAL AND SUBJECT TO CHANGE. FINAL LAYOUT OF PLANTINGS WILL BE DETERMINED AT SITE PLAN AND ARE TO REFLECT FINAL ARCHITECTURE. PRIVATE RESIDENCES SHALL BE BUILT AND INITIALLY LANDSCAPED BY THE DEVELOPER OF RECORD. IF DESIRED, RESIDENTS ARE PERMITTED TO CHANGE LANDSCAPING MATERIALS IN ACCORDANCE WITH HOA REGULATIONS.

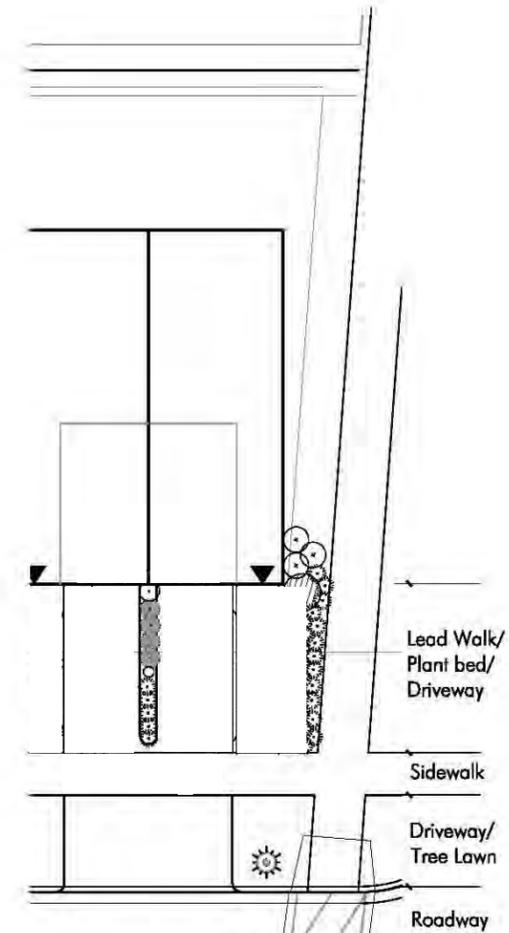
UNIT TYPICALS - LANDSCAPE MATERIALS



2 OVER 2 UNIT
REAR LOADED GARAGE



TOWNHOUSE 16'
FRONT LOADED GARAGE



END UNIT TOWNHOUSE 16'
FRONT LOADED GARAGE

LEGEND



NOTE: ALL PLANS ARE CONCEPTUAL AND SUBJECT TO CHANGE. FINAL LAYOUT OF PLANTINGS WILL BE DETERMINED AT SITE PLAN AND ARE TO REVLUCT FINAL ARCHITECTURE. PRIVATE RESIDENCES SHALL BE BUILT AND INITIALLY LANDSCAPED BY THE DEVELOPER OF RECORD. IF DESIRED, RESIDENTS ARE PERMITTED TO CHANGE LANDSCAPING MATERIALS IN ACCORDANCE WITH HOA REGULATIONS.

UNIT TYPICALS - UTILITY LOCATIONS

Utilities and Mechanical Equipment

The visual and noise impacts of utilities, mechanical equipment, data transmission, et al shall be reasonably minimized by the use of the following design and installation principles:

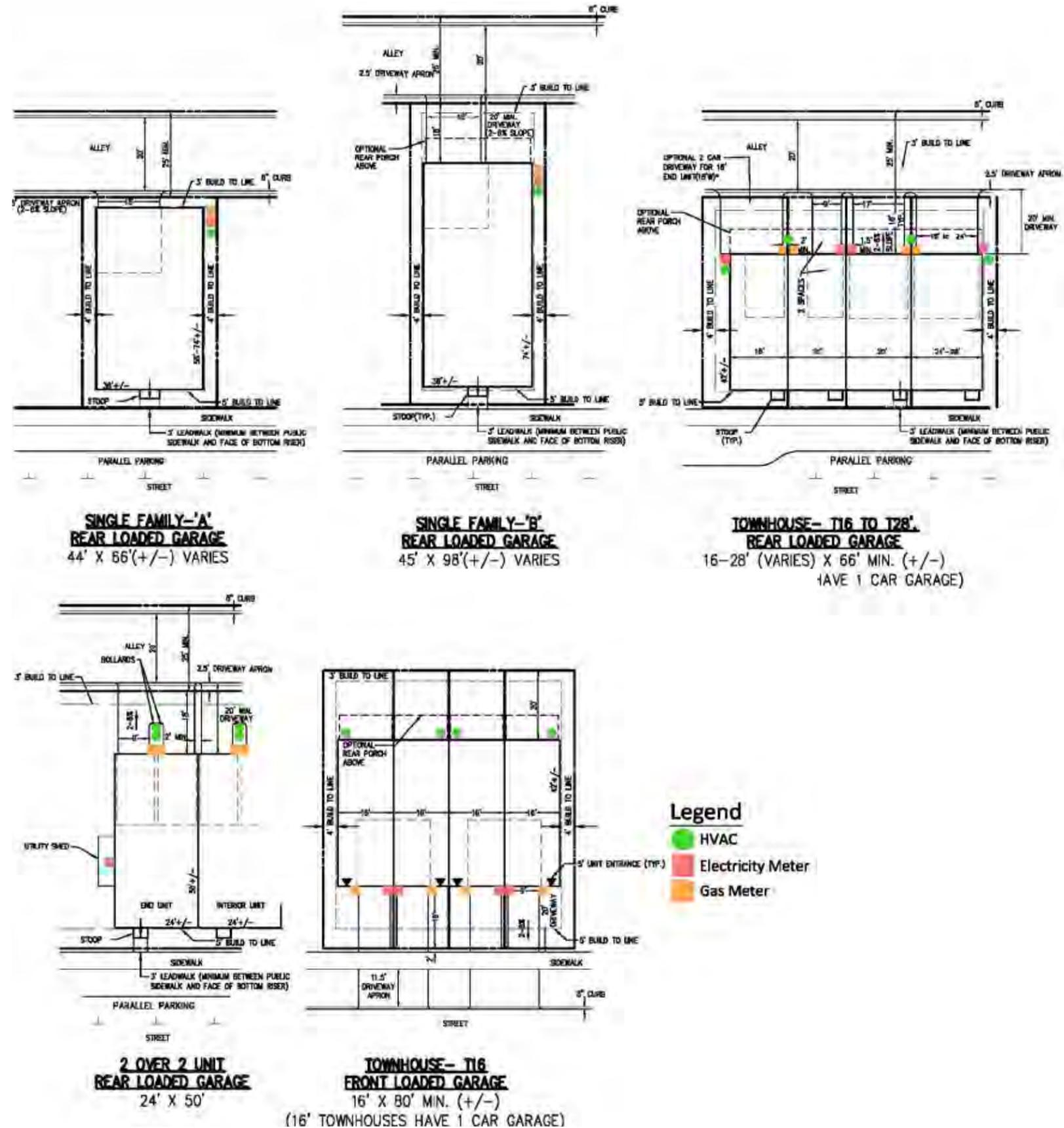
1. Install all permanent utility lines underground
2. Utility locations shall be generally located to the rear of lots, except when the situation dictates otherwise
3. Locate transformers away from major pedestrian routes and outdoor seating where possible
4. Buffer all transformers, telecommunication devices, equipment switching boxes et al from street and pedestrian areas with landscaping or architectural screens where possible

ment where architecturally located shall be hidden from public view or screened in an attractive but unobtrusive way

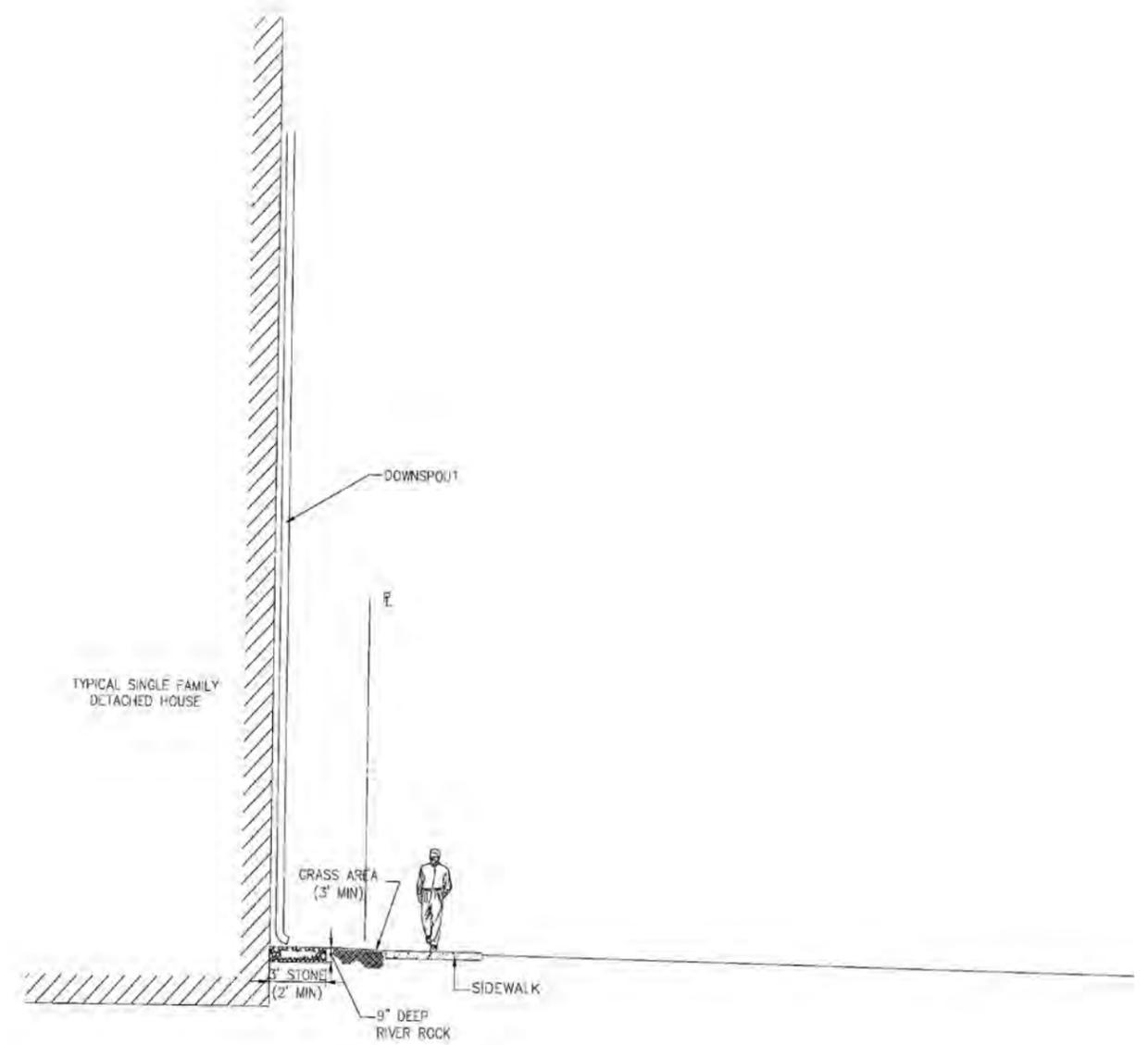
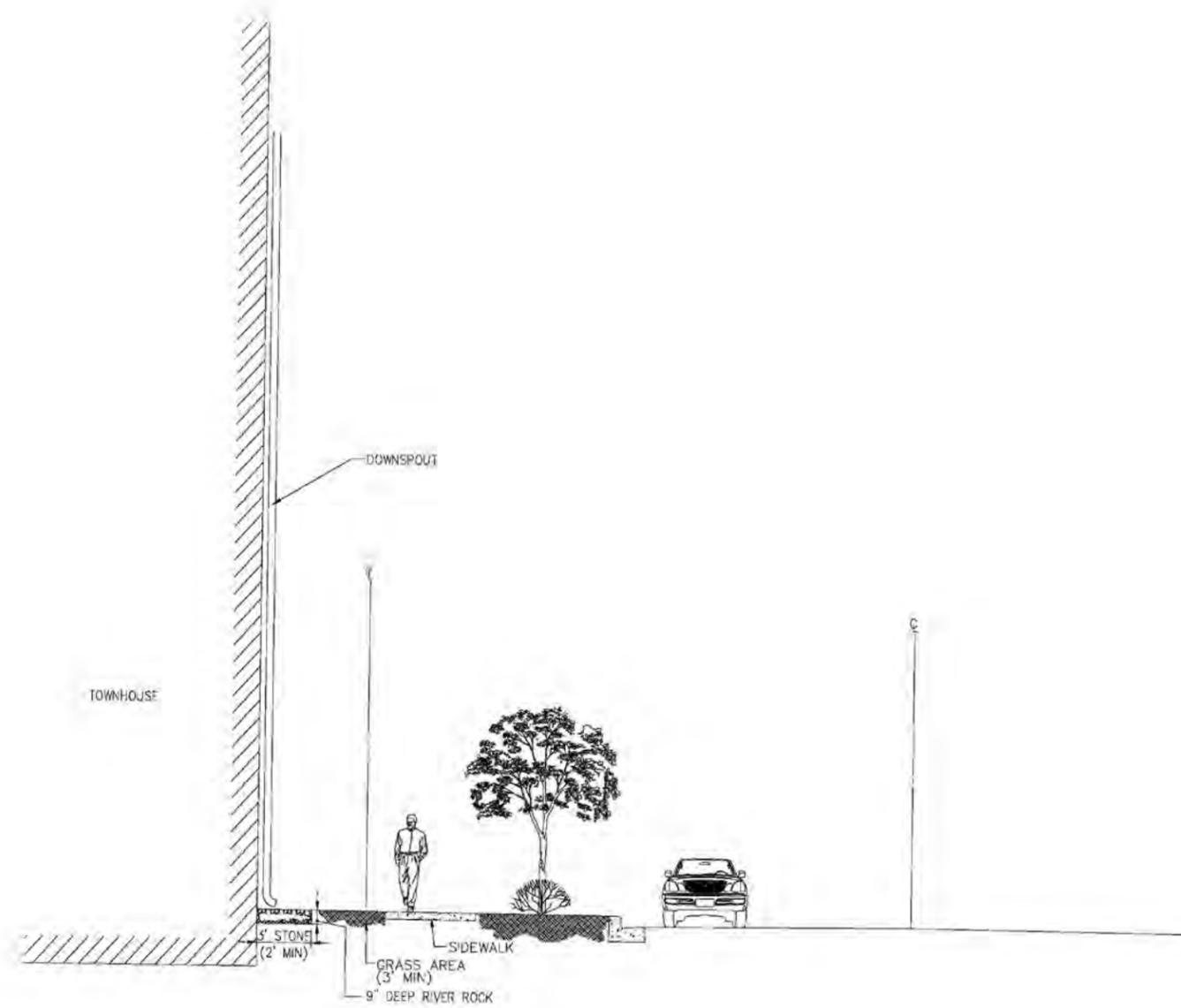
6. The following methods of screening equipment are allowable:

- a. berms
- b. depressions
- c. walls
- d. fences
- e. landscaping
- f. architectural integration

7. Transformers, CATV, and Telephone Distribution, et al will be located in alleyways, side yards, and rear yards. HVAC equipment will be located in side yards or rear yards. If such equipment is located in side yards within 15



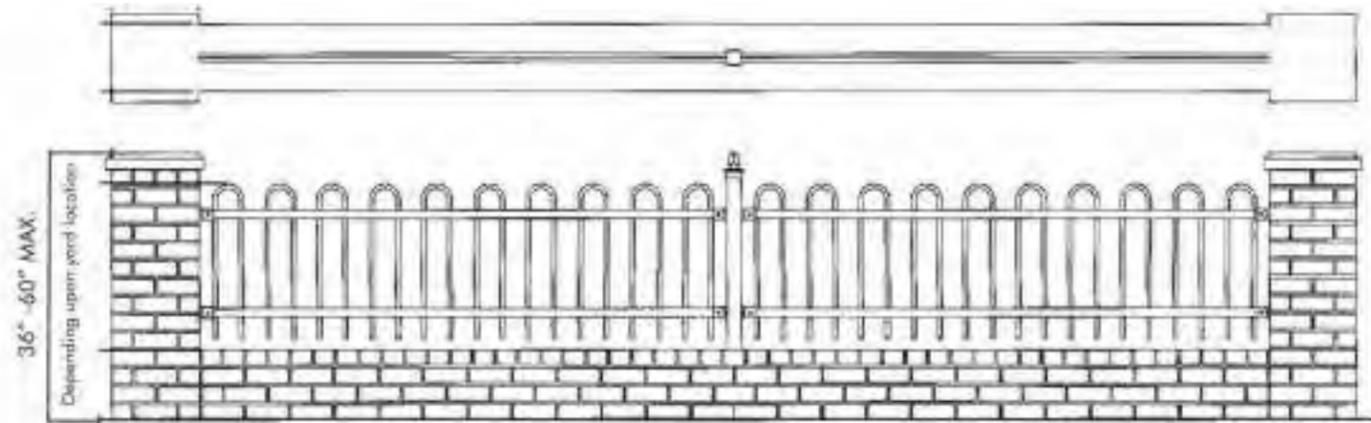
UNIT TYPICALS - DOWNSPOUT DETAILS



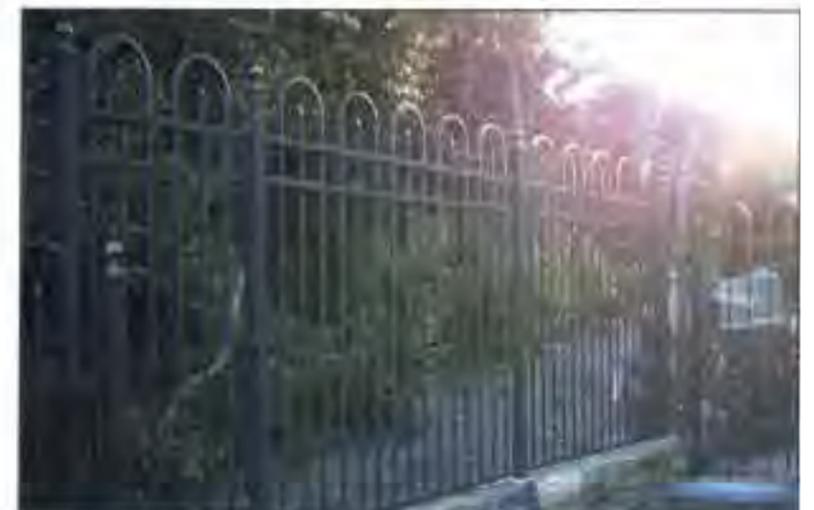
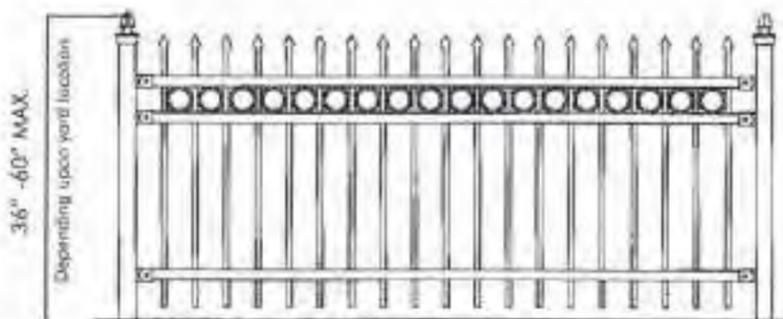
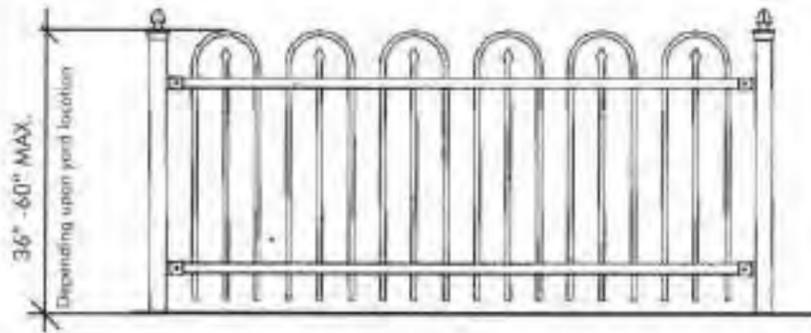
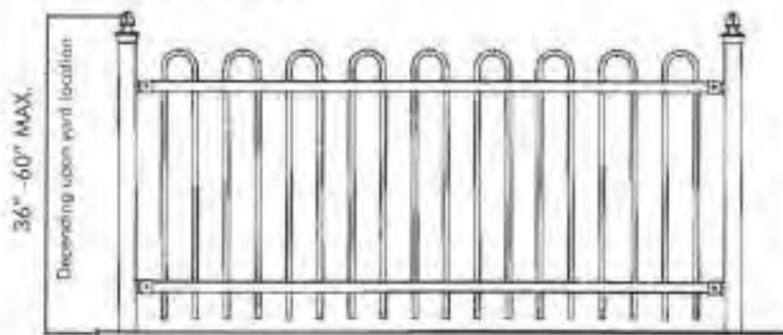
METAL PICKET FENCING

Fencing on Multi-Family property and some townhouses shall be metal pickets. Metal pickets shall be constructed aluminum or iron and finished with black paint. The following metal picket fencing types are permitted in Crown. Variations on the following design will be considered.

Property corners must be established prior to the installation of fences. All fences must be installed within 2" from the adjoining lot so that encroachment does not occur. Gates shall match the design, material, and color of the associated fence.

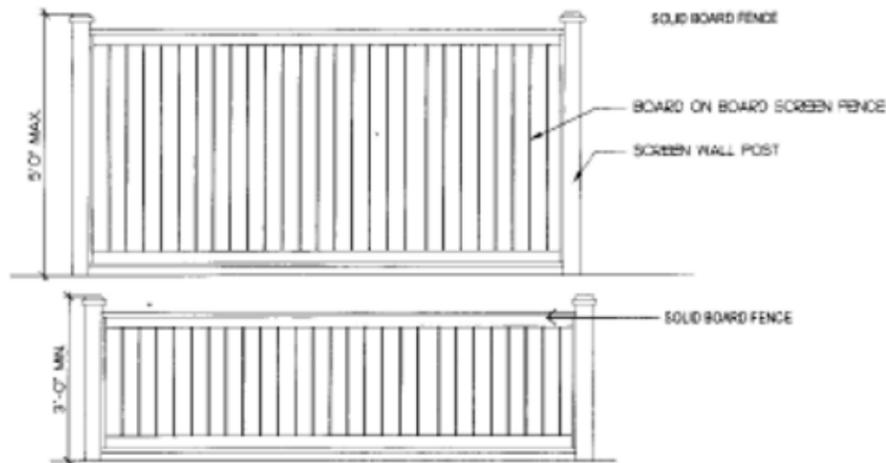


Metal Picket Fence

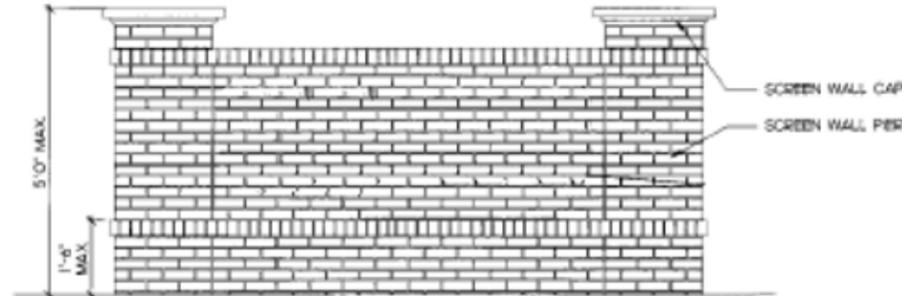


SCREENING

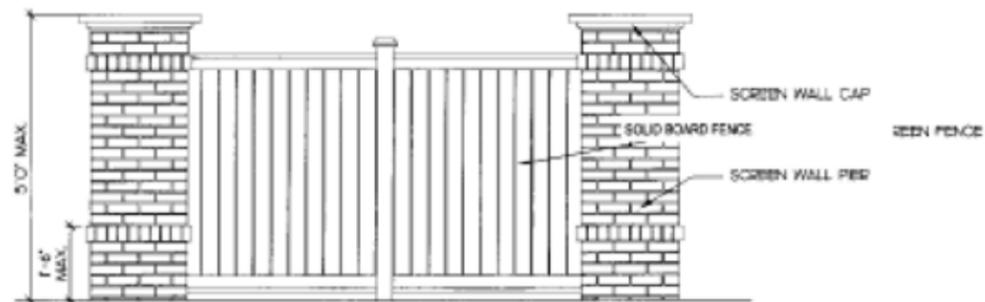
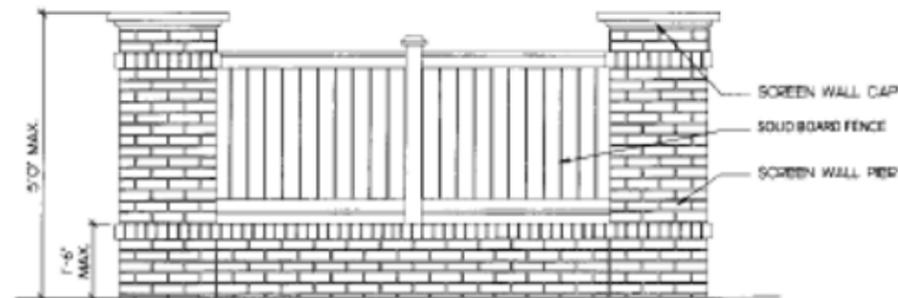
Board on Board Screen Fence



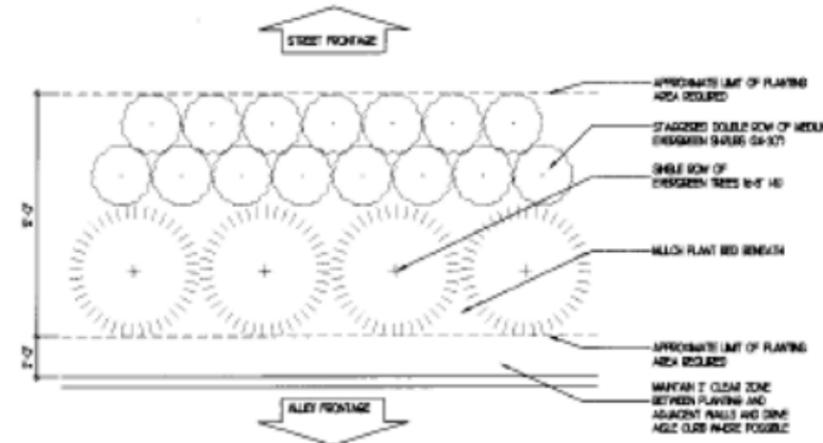
Masonry Screen Wall



Board on Board Screen Fence with Masonry Base



Evergreen Shrub Screening



Screening.

Screen fencing will be used to screen objectionable views, including views into all alleys, utilities, refuse areas, and parking areas. It shall be used at all alley entry points in order to screen parking and dead ends of alley. Screen fencing is prohibited in the front yards of all units. Screen fencing shall be either board-on board with a masonry base, or entirely masonry. It must be a minimum of 36 inches and a maximum of 60 inches in height. Tandem parking spaces will be screened between driveways in alleys. If space permits, all screening will have landscape material installed on the street side. Landscape screening may be used at the ends of alleys rather than a screen wall where conditions do not permit the use of a wall. All landscape screening must be in accordance with the screening details. Long slopes equal increment level fence steps are to be used. Gates should match adjoining fences and shall swing into the property that it is enclosing. Chain link fencing and gates shall be prohibited.



CITY OF GAITHERSBURG

DEVELOPMENT TEAM

WESTBROOK PROPERTIES

CONSULTANT TEAM

Perkins Eastman DC



PARKER RODRIGUEZ INC.
LANDSCAPE ARCHITECTURE · LAND PLANNING · URBAN DESIGN