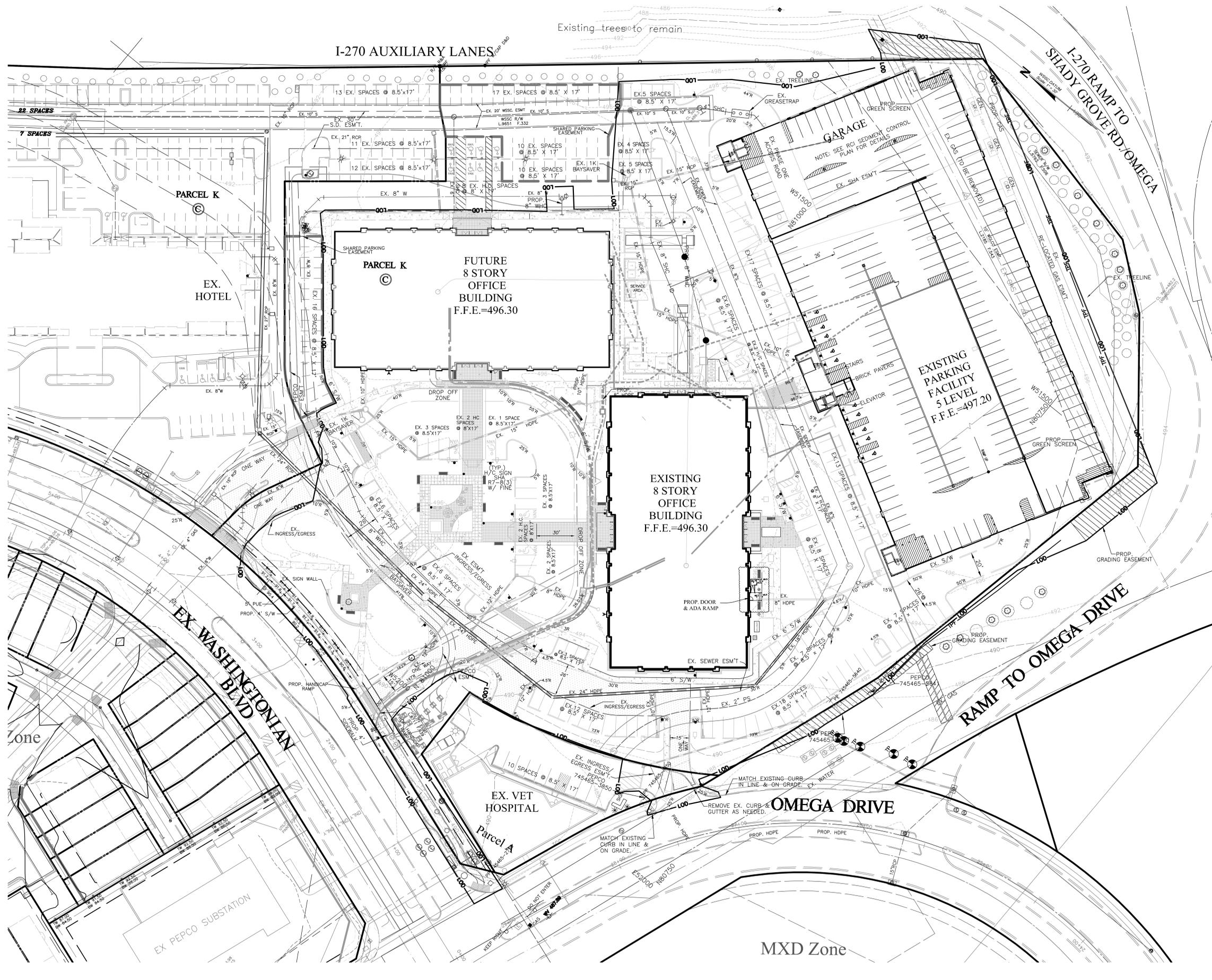




PRELIMINARY NOT FOR CONSTRUCTION



- PRIVATE PAVING NOTES**
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE GENERAL SPECIFICATIONS OF MARYLAND STATE HIGHWAY ADMINISTRATION AND THE CITY OF GAITHERSBURG.
  2. ALL PAVING SPOT ELEVATIONS ARE FOR THE FLOWLINE/SURFACE OF PAVING UNLESS OTHERWISE NOTED.
  3. THE PAVING WITHIN THE CONFINES OF THIS PROPERTY IS PRIVATE AND IS TO BE MAINTAINED BY THE OWNER.
  4. THIS PLAN IS TO BE USED FOR FINAL ELEVATIONS AND PAVING ALIGNMENTS.
  5. ALL PERIMETERS, PAVING EDGES AND ISLANDS SHALL BE CURBED.
  6. CURBS, GUTTERS, SIDEWALKS AND PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE OF ALL AREAS SO THERE IS NO ACCUMULATION OF SURFACE WATER.
  7. ALL PAVING, STORM DRAINAGE, UTILITIES AND IMPROVEMENTS ON THIS PARCEL ARE PRIVATE AND THE MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER.



**NOTE:**  
REFER TO SPRING HILL SUITES' SITE PLAN FOR EXISTING/PREVIOUSLY APPROVED IMPROVEMENTS.

**Note:**  
1. Amendment for proposed educational use, new door access, sidewalk and ADA ramp.

**CITY OF GAITHERSBURG MAYOR & COUNCIL**  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

**SCHEMATIC DEVELOPMENT PLAN APPROVAL**

AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XX  
APPLICATION NO. SDP-XX WAS GRANTED  
SCHEMATIC DEVELOPMENT PLAN APPROVAL  
BY RESOLUTION WITH ( ) CONDITIONS.  
DATE BY

**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL.

**CITY OF GAITHERSBURG PLANNING COMMISSION**  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

**SITE PLAN APPROVAL**

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XXX, 2016  
APPLICATION NO. AFP-XXXX WAS GRANTED  
**AMENDMENT TO FINAL PLAN APPROVAL**  
WITH XX ( ) CONDITIONS. SEE S.D.A. LETTER.  
DATE XXXXX BY

**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE APPROVED BY THE PLANNING COMMISSION OR PLANNING STAFF.

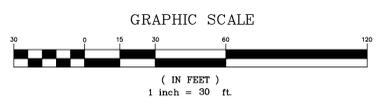
**APPROVED**

**CITY OF GAITHERSBURG**  
DEPARTMENT OF PUBLIC WORKS  
AND ENGINEERING

**FINAL APPROVAL**

DATE  
BY

**FOR LOCATION OF UTILITIES CALL "MISS UTILITY" AT 1-800-257-7777 OR LOG ON TO <http://www.missutility.net/itics/> 48 Hours in Advance of Any Work in This Vicinity**



**PROFESSIONAL CERTIFICATION**  
I hereby certify that these documents were prepared or approved by me in accordance with the Montgomery County Department of Public Works and Transportation "Storm Drain Design Criteria", dated June 10, 2014, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 19970, Expiration Date 6/1/18.

| REVISION | DATE | REVISION | DATE | REVISION | DATE |
|----------|------|----------|------|----------|------|
|          |      |          |      |          |      |
|          |      |          |      |          |      |
|          |      |          |      |          |      |
|          |      |          |      |          |      |

Owner / Developer:  
**AREP 9711 Washingtonian South LLC**  
American Realstate Ptnshp LLC  
2350 Corporate Park Drive  
Suite 110  
Herndon, Virginia 20171  
703.435.4800  
Attn: Jeff Strup

**SCHEMATIC DEVELOPMENT PLAN  
AMENDMENT AND FINAL SITE PLAN**

**RODGERS CONSULTING**

19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

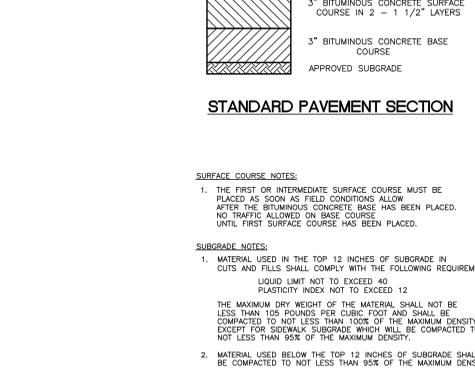
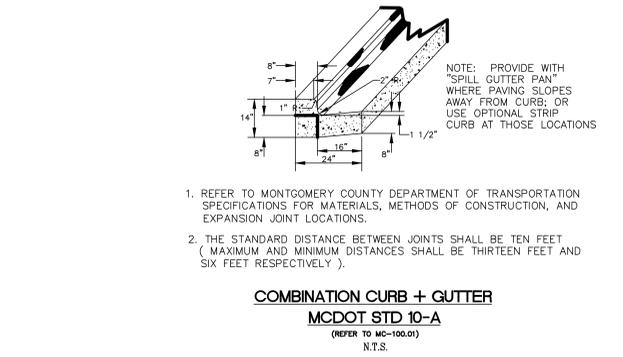
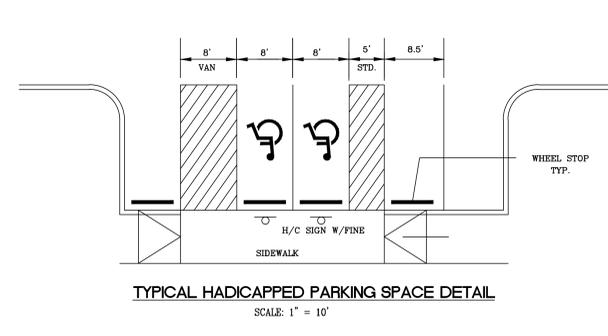
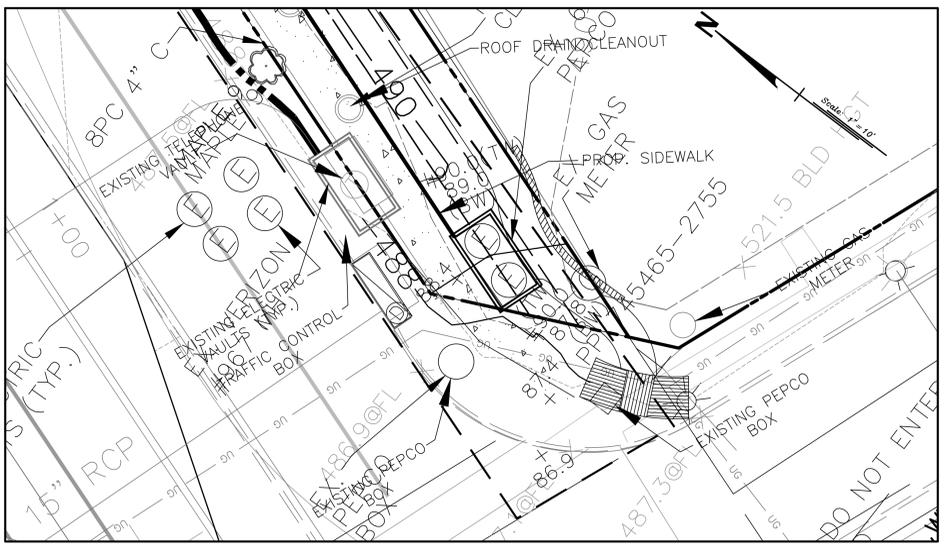
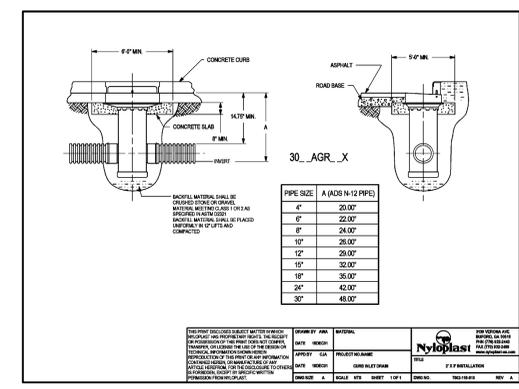
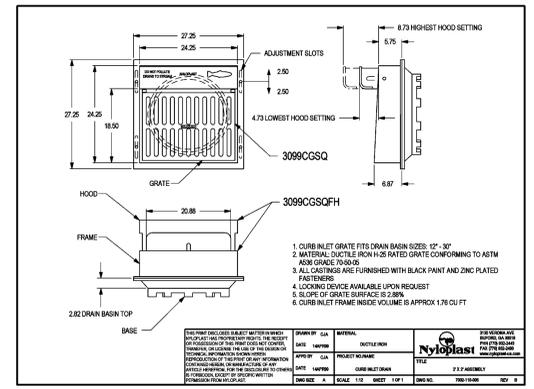
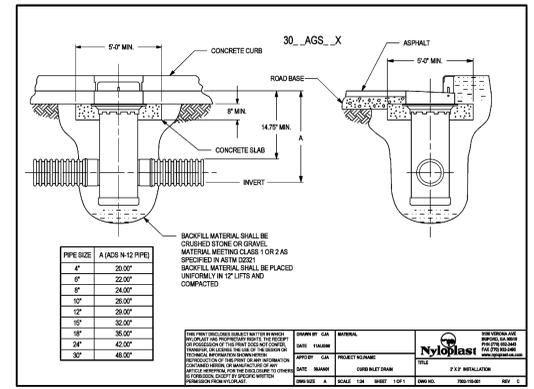
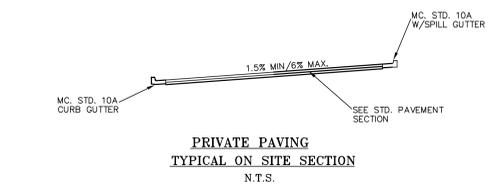
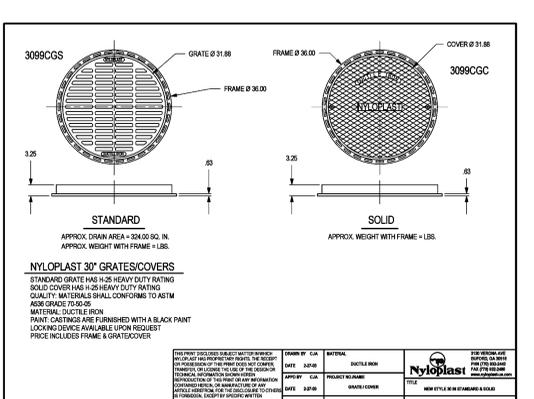
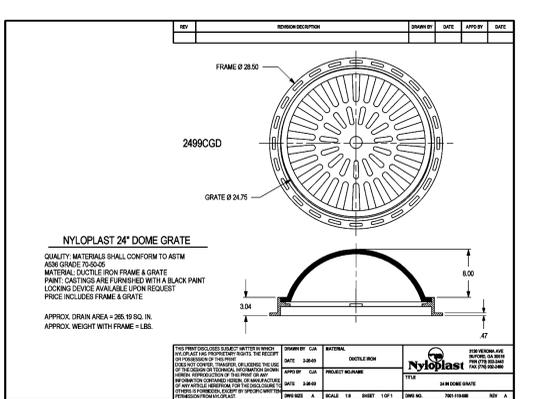
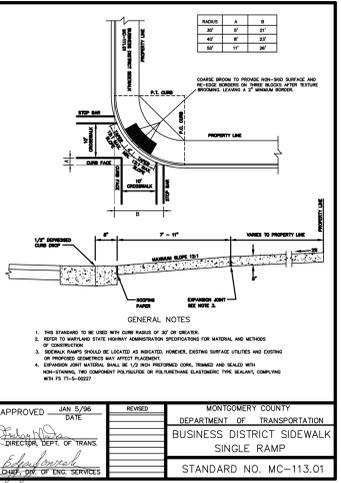
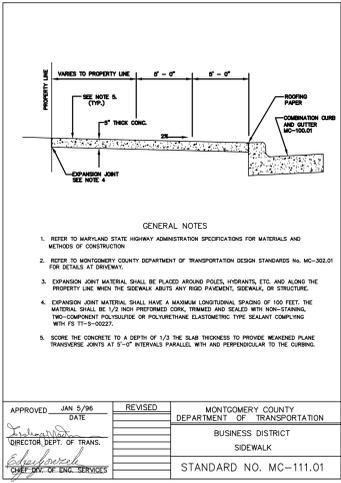
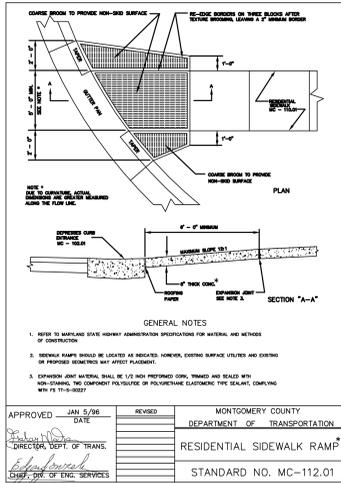
| BY                             | DATE        |
|--------------------------------|-------------|
| BASE DATA                      | CADD        |
| DESIGNED                       | RDW 08/2016 |
| DRAWN                          | RDW 08/2016 |
| REVIEWED                       |             |
| RODGERS CONTACT: Ryan D. White |             |
| RELEASE FOR                    |             |
| BY                             | DATE        |

**WASHINGTONIAN CENTER**  
SOUTH-SEVEN SDP Amendment

PARCEL K, BLOCK C  
Election District (No.9), Montgomery County, Maryland

SCALE: ViewportScale  
JOB No. 1207-A  
DATE: eptember 2016  
**C-02**  
SHEET No. GF

© 1/18 REVIEW SUBMISSION SEPTEMBER 2016



CITY OF GAITHERSBURG MAYOR & COUNCIL  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

**SCHEMATIC DEVELOPMENT PLAN APPROVAL**

AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XX XX APPLICATION NO. SDP-XX WAS GRANTED SCHEMATIC DEVELOPMENT PLAN APPROVAL BY RESOLUTION WITH ( ) CONDITIONS. SEE S.D.A. LETTER. DATE XX/XX/XX BY ( )

**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL.

CITY OF GAITHERSBURG PLANNING COMMISSION  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

**SITE PLAN APPROVAL**

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XX XX, 2016 APPLICATION NO. WAS GRANTED AMENDMENT TO FINAL PLAN APPROVAL WITH XX ( ) CONDITIONS. SEE S.D.A. LETTER. DATE XX/XX/XX BY ( )

**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE APPROVED BY THE PLANNING COMMISSION OR PLANNING STAFF.

**Note:**

- No amendment proposed this sheet.

FOR LOCATION OF UTILITIES CALL "MISS UTILITY" AT 1-800-257-7777 OR LOG ON TO <http://www.missutility.net/util/> 48 Hours in Advance of Any Work in This Vicinity

**WASHINGTONIAN CENTER**  
SOUTH-SEVEN SDP Amendment  
PARCEL K, BLOCK C  
Election District (No.9), Montgomery County, Maryland

SCALE: As Noted  
JOB No. 1207-A  
DATE: september 2016  
**C-03**  
SHEET No. 05

| REVISION | DATE | REVISION | DATE | REVISION | DATE |
|----------|------|----------|------|----------|------|
|          |      |          |      |          |      |

Owner / Developer:  
**AREP 9711 Washingtonian South LLC**  
American Realstate Ptnshp LLC  
2350 Corporate Park Drive  
Suite 110  
Herndon, Virginia 20171  
703.435.4800  
Attn: Jeff Strup

**SCHEMATIC DEVELOPMENT PLAN AMENDMENT AND FINAL SITE PLAN DETAILS**

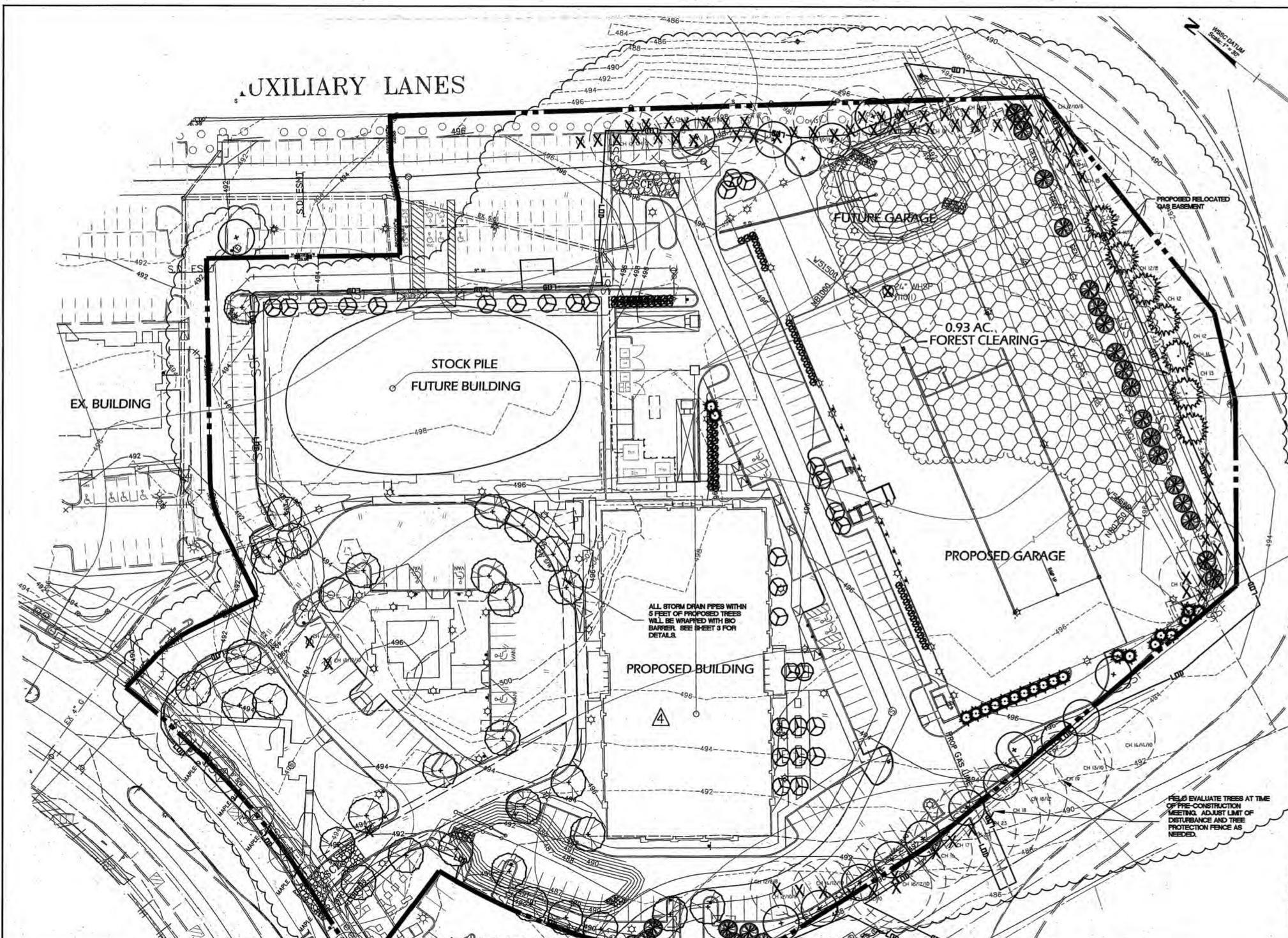
**RODGERS CONSULTING**  
19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fax: 301.948.6256 www.rodgers.com

| BY          | DATE         |
|-------------|--------------|
| DESIGNED    | CADD 08/2016 |
| DRAWN       | RDW 08/2016  |
| REVIEWED    |              |
| RELEASE FOR |              |
| BY          | DATE         |

STATE OF MARYLAND PROFESSIONAL ENGINEER

PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me in accordance with the Montgomery County Department of Public Works and Transportation "Storm Drain Design Criteria", dated June 10, 2014, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 12970, Expiration Date 6/1/18.



**LEGEND:**

- SITE BOUNDARY
- TREE TO BE REMOVED
- TREE TO REMAIN AND CRITICAL ROOT ZONE
- SPECIMEN TREE
- EXISTING TOPOGRAPHY
- PROPOSED CONTOUR
- LIMITS OF DISTURBANCE
- TREE PROTECTION FENCE
- ROOT PRUNE
- FOREST CLEARING

FOR LOCATION OF UTILITIES CALL "MISS UTILITY" AT 1-800-257-7777 OR LOG ON TO <http://www.missutility.net/itics/> 48 Hours in Advance of Any Work in This Vicinity

**PLANT SYMBOLS:**

- Acer rubrum / October Glory Red Maple
- Magnolia virginiana / Southern Magnolia
- Nyssa sylvatica / Black Gum
- Quercus phellos / Willow Oak
- Cercis canadensis / Eastern Redbud
- Ilex x attenuata / Foster's Holly
- Ilex x Nellie R. Stevens / Nellie Stevens Holly
- Thuja occidentalis / Nigra / Eastern Arborvitae

See sheet 2 for information on Forest Conservation Credit.

**Note:** Tree Protection Fence and Root Prune line locations are exaggerated for graphic purposes. See detail on sheet 2 for relationship of LOD, TPF, and Root Prune locations.

ALL STORM DRAIN PIPES WITHIN 5 FEET OF PROPOSED TREES WILL BE WRAPPED WITH BCB BARRIER. SEE SHEET 3 FOR DETAILS.

FIELD EVALUATE TREES AT TIME OF PRE-CONSTRUCTION MEETING. ADJUST LIMIT OF DISTURBANCE AND TREE PROTECTION FENCE AS NEEDED.

**CITY OF GAITHERSBURG**  
 31 SOUTH SUMMIT AVENUE  
 GAITHERSBURG, MARYLAND 20877  
**FCP APPROVAL**  
 THE CITY OF GAITHERSBURG DEVELOPMENT REVIEW TEAM HEREBY GRANTS APPROVAL OF FOREST CONSERVATION PLAN FOR APPLICATION NO. 2007-1-1027A  
 DATE 12-21-07 BY [Signature]

Qualified Professional Certificate  
 Date 12/21/07  
 [Signature]  
 Justy Road  
 Qualified Professional  
 CDMAR 08.19.06.01

| REVISION   | DATE     | REVISION | DATE |
|--|----------|----------|------|
| Revised per City of Gaithersburg comments dated 10/23/07 | 11/1/07  |          |      |
| Revised per City of Gaithersburg comments dated 12/19/07 | 12/19/07 |          |      |
| CONSTRUCTION CHANGE DIRECTIVE #1                         | 1/16/08  |          |      |

OWNER:  
 WASHINGTON PROPERTY COMPANY  
 4720 MONTGOMERY LANE  
 SUITE 900  
 BETHESDA, MARYLAND 20814  
 PHONE: (240) 482-8110  
 FAX: (240) 497-0356  
 CONTACT: JONATHAN MEYERS

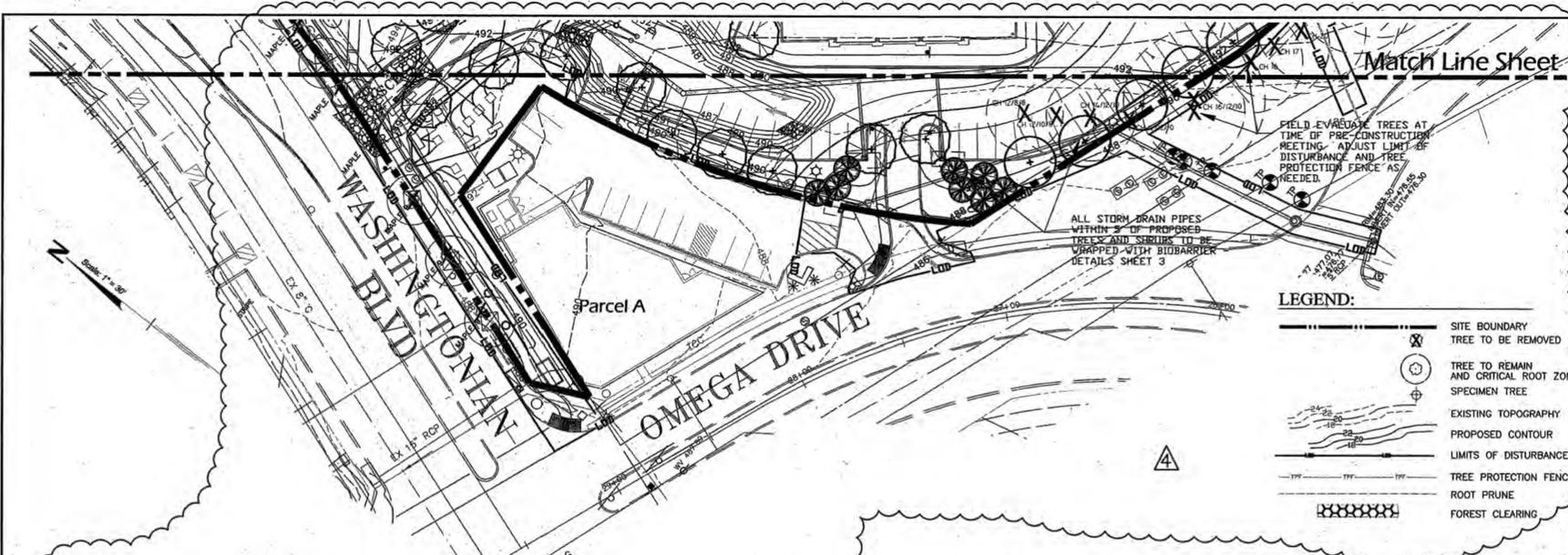
**FINAL FOREST CONSERVATION PLAN**

**RODGERS CONSULTING**  
 Enhancing the value of land assets  
 Rodgers Consulting, Inc.  
 13847 Century Blvd., Suite 200  
 Germantown, MD 20874  
 301.948.4700  
 301.948.6256 (fax)  
 301.253.6699  
 www.rodgers.com

| BY               | DATE           |
|------------------|----------------|
| BASE DATA        | CADD 10/07     |
| DESIGNED         | MDR 10/07      |
| DRAWN            | HLR 10/07      |
| REVIEWED         | MDR 10/07      |
| RODGERS CONTACT: |                |
| RELEASE FOR      |                |
| CCD-1            |                |
| BY: RDW          | DATE: 12/15/08 |

PARCEL K, BLOCK C  
**WASHINGTONIAN CENTER**  
 CITY OF GAITHERSBURG  
 9TH ELECTION DISTRICT  
 MONTGOMERY COUNTY, MARYLAND

SCALE: 1" = 30'  
 JOB No. 1027A  
 DATED JUNE 2007  
 FOR-1  
 SHEET No. 1 OF 3



- GENERAL NOTES:**
- Plants shall conform to current "American Standards for Nursery Stock" by American Association of Nurserymen (AAN), particularly with regards to site, growth, and size of ball and density of branch structure.
  - All plants (B&B or container) shall be properly identified by weatherproof labels securely attached hereto before delivery to project site. Labels shall identify plants by name, species and size. Labels shall not be removed until the final inspection by the Landscape Architect.
  - Any material and/or work may be rejected by the Landscape Architect if it does not meet the requirements of the specifications. The contractor shall remove all rejected materials from the site.
  - The contractor shall furnish all plants in quantities and sizes to complete the work as specified in plant schedule. The landscape contractor shall be responsible to verify all plant quantities on the plans prior to commencement of work. Quantities in the plant schedule are for the contractor's convenience only and do not constitute the final count.
  - Substitutions in plant species or size shall not be permitted except with the written approval of the Landscape Architect.
  - Plants shall be located as shown on the drawings and by scaling or as designated in the field by the Landscape Architect. All locations are to be approved by the Landscape Architect before excavation.
  - Contractor shall locate and mark all underground utility lines and irrigation systems prior to excavating plant beds or pits. All utility easement areas where no planting shall take place shall also be marked on the site, prior to locating and digging the tree pits. If utility lines are encountered in excavation of tree pits, other locations for the trees shall be selected by the Landscape Architect. Such changes shall be made by the contractor without additional compensation. No changes of location shall be made without the approval of the Landscape Architect.
  - All equipment and tools shall be placed so as not to interfere or hinder the pedestrian and vehicular traffic flow.
  - During planting operations, excess and waste materials shall be promptly and frequently removed from the site.
  - All plant shrub beds are to be dug to a minimum of 24" deep and all existing soil, construction debris, roots and other foreign material are to be removed and discarded off site. All plant shrub beds are to be excavated to the width shown on the plans.
  - All tree pits are to be excavated to a minimum depth to allow the tree root ball to be a minimum of 4" higher than finish grade. The tree root ball is to rest on undisturbed soil, or a compacted bed must be prepared for the tree root ball to rest on and which will not subside causing the tree to sink below finish grade. All tree pits are to be a minimum of 12" larger on every side of the trees root ball.
  - The planter beds are to be entirely cleaned out to the undisturbed soil level. All existing soil, construction debris, roots and other foreign material are to be removed and discarded offsite.
  - The topsoil to be used to fill the tree pits, shrub beds and planters is to be plant specific. The topsoil for the trees, shrubs and planter shall consist of a maximum 2/3 existing topsoil from the site, which is cleaned and free of clay, a minimum of 1/3 peat moss, or other approved organic material or imported new loamy topsoil and 10% rotted steer manure. All of these materials are to be mixed prior to placing in the planter or backfilling when planting.
  - The contractor is responsible to ensure that all tree pits, shrub beds and planter are well drained. No standing water must be apparent in the tree pits, planting beds or planter prior to planting. The landscape contractor shall conduct percolation tests on the site if a drainage problem is thought to exist. The percolation rates which are to be used to determine the drainage condition of the beds is to be the standard utilized by the Potomac Valley Nurserymen's Association and accepted in Montgomery County as normal.
  - The landscape contractor without cost to the owner will replace all plant material, which is affected by poor drainage.
  - All lawn areas are to be seeded with grass seed appropriate for each of the sunlight conditions, which exist on the site. The final result is to be a luxurious dense green lawn.
  - All lawn areas are to be tilled to a depth of 6" and all foreign material removed which will inhibit the healthy growth of the lawn. All old grass and grass roots are to be removed from the site. New topsoil of a minimum 4" is to be placed over the areas to be sodded. The grass areas are to be fine graded to ensure that no undulations occur in the lawn. The lawns are to be graded in such a way as to appear perfectly well tilled and even. The lawn topsoil is to be rolled and lightly irrigated prior to placing of the seed. The seed is not to be laid on frozen or soaked soil.
  - The existing trees are to be protected during the preparation of the lawn areas. The roots of the trees are to be undisturbed during the cleaning of the topsoil.
  - The trees and shrubs are to be handled with the best care and attention to ensure that the plants are not bruised, broken, torn, mashed, dried out, or damaged in any way which will affect the plants general appearance and well being.
  - The trees and shrubs are to be planted with the accepted standards of the Potomac Valley Nurserymen's Association. The plants are to be properly watered and backfilled during the planting. All care must be taken to ensure that the plants are upright, a plant's best side is exposed to the point of the plants greatest visibility.
  - The trees must be staked in accordance with acceptable nursery practice to ensure that they are secure in the ground and will grow straight and uniform. The trees are to be wrapped if the contractor deems it necessary to protect the trees from sun scald or insect attack.
  - The Landscape Contractor is to provide a 1-year guarantee for all plant material and other work done on site.

**Forest Conservation (LandscapeCredit)**

| Symbol       | Qty | Latin                      | Common              | Size     | Condition | FC Credit   | C Credit     |
|--------------|-----|----------------------------|---------------------|----------|-----------|-------------|--------------|
| CC           | 30  | Cercis canadensis          | Eastern Redbud      | 3" cal.  | B&B       | 200         | 6000         |
| IA           | 22  | Ilex x attenuata 'Foster'  | Foster's Holly      | 3" cal.  | B&B       | 200         | 4400         |
| IN           | 26  | Ilex x Nello R. Stevens    | Nello Stevens Holly | 3" cal.  | B&B       | 200         | 5200         |
| TO           | 72  | Thuja occidentalis 'Nigra' | Eastern arborvitae  | 8-10 ft. | B&B       | 200         | 14400        |
| <b>Total</b> |     |                            |                     |          |           | <b>0.89</b> | <b>30000</b> |

| Symbol       | Qty | Latin                       | Common                  | Size    | Condition | FC Credit   | C Credit     |
|--------------|-----|-----------------------------|-------------------------|---------|-----------|-------------|--------------|
| AC           | 7   | Acer rubrum 'October Glory' | October Glory Red Maple | 3" cal. | B&B       | 0           | 0            |
| DP           | 32  | Quercus phellos             | Willow Oak              | 3" cal. | B&B       | 400         | 12800        |
| MG           | 7   | Magnolia grandiflora        | Southern Magnolia       | 7-8 ft. | B&B       | 400         | 2800         |
| NS           | 17  | Nyssa sylvatica             | Black Gum               | 3" cal. | B&B       | 400         | 6800         |
| <b>Total</b> |     |                             |                         |         |           | <b>0.51</b> | <b>22400</b> |

**Notes:** Tree Protection Fence and Root Prune line locations are exaggerated for graphic purposes. See detail on sheet 2 for relationship of LOD, TPF, and Root Prune locations.

Landscape shown on this plan represents native tree plantings only, for further landscape information see Landscape Plans.

The species above may be substituted with equivalent native species.

One specimen tree, a 24" White Spruce, will be removed per this plan.

**FOREST CONSERVATION WORKSHEET**  
Washingtonian Center South 7 10.31.07

| NET TRACT AREA:   | Acres |
|---|-------|
| A. Total tract area   | 7.39  |
| B. Land dedication areas (gains, county facility, etc.)                       | 0.00  |
| C. Land dedication for roads or utilities (not being constructed by the plan) | 0.00  |
| D. Area to remain in commercial agricultural production                       | 0.00  |
| E. Other deductions (specify)   | 0.00  |
| F. Net Tract Area   | 7.39  |

| LAND USE CATEGORY (from Tree Technical Manual) | Code | Area | Value |
|--|------|------|-------|
| G. Afforestation Threshold                     | 19%  | 1.41 | 1.11  |
| H. Conservation Threshold                      | 19%  | 1.41 | 1.11  |

| EXISTING FOREST COVER:                          | Value |
|---|-------|
| I. Existing forest cover                        | 0.93  |
| J. Area of forest above afforestation threshold | 0.00  |
| K. Area of forest above conservation threshold  | 0.00  |

| BREAK EVEN POINT:                                      | Value |
|--|-------|
| L. Forest retention above threshold with no mitigation | 0.00  |
| M. Clearing permitted without mitigation               | 0.00  |

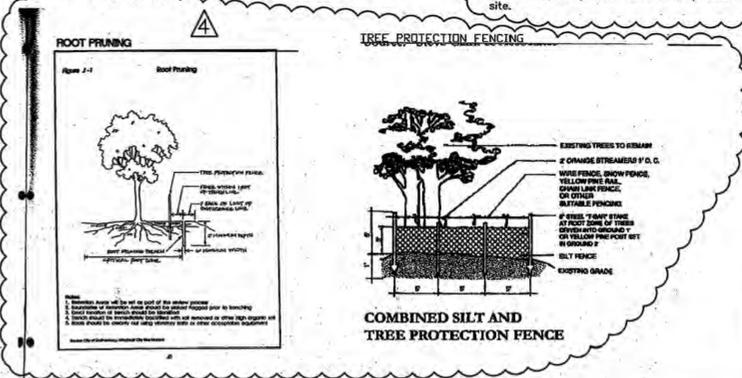
  

| PROPOSED FOREST CLEARING:              | Value |
|--|-------|
| N. Total area of forest to be cleared  | 0.93  |
| O. Total area of forest to be retained | 0.00  |

| PLANTING REQUIREMENTS:                                    | Value |
|---|-------|
| P. Replantation for clearing above conservation threshold | 0.00  |
| Q. Replantation for clearing below conservation threshold | 1.86  |
| R. Cost for retention above conservation threshold        | 0.00  |
| S. Total reforestation required                           | 1.86  |
| T. Total afforestation required                           | 0.18  |
| U. Credit for landscaping (may not exceed 20% of "P")     | 1.22  |
| V. Total reforestation and afforestation required         | 1.02  |

**Note:** The reforestation/afforestation requirement of 1.02 acres will be provided via Fee-in-Lieu per the current fee schedule at the time permits are pulled.



FOR LOCATION OF UTILITIES CALL "MISS UTILITY" AT 1-800-257-7777 OR LOG ON TO <http://www.missutility.net/utiles/> 48 Hours in Advance of Any Work in This Vicinity

**CITY OF GAITHERSBURG**  
31 SOUTH SUMMIT AVENUE  
GAITHERSBURG, MARYLAND 20877

**FCP APPROVAL**  
THE CITY OF GAITHERSBURG DEVELOPMENT REVIEW TEAM HEREBY GRANTS APPROVAL OF FOREST CONSERVATION PLAN FOR APPLICATION NO. CSE-07-0008 DATE 12-21-07 BY [Signature]

Qualified Professional Certificate  
Date: 12/21/07  
[Signature]  
Dusty Road  
Qualified Professional  
CDMAR 08193633

| REVISION   | DATE     | REVISION | DATE |
|--|----------|----------|------|
| Revised per City of Gaithersburg comments dated 10/23/07 | 11/07    |          |      |
| Revised per City of Gaithersburg comments dated 12/19/07 | 12/19/07 |          |      |
| CONSTRUCTION CHANGE DIRECTIVE #1                         | 1/16/08  |          |      |

**OWNER:**  
WASHINGTON PROPERTY COMPANY  
4720 MONTGOMERY LANE  
SUITE 900  
BETHESDA, MARYLAND 20814  
PHONE: (240) 482-8110  
FAX: (240) 497-0356  
CONTACT: JONATHAN MEYERS

**FINAL FOREST CONSERVATION PLAN**

**RODGERS CONSULTING**  
Rodgers Consulting, Inc.  
19847 Century Blvd., Suite 200  
Germantown, MD 20874  
301.948.4700  
301.948.6256 (fax)  
301.253.6669  
www.rodgers.com

| BY        | DATE       |
|-----------|------------|
| BASE DATA | CADD 10/07 |
| DESIGNED  | MDR 10/07  |
| DRAWN     | HLR 10/07  |
| REVIEWED  | MDR 10/07  |

RELEASE FOR  
CCD-1  
BY: RDW DATE: 1/16/08

PARCEL K, BLOCK C  
**WASHINGTONIAN CENTER**  
CITY OF GAITHERSBURG  
9TH ELECTION DISTRICT  
MONTGOMERY COUNTY, MARYLAND

| SCALE     | 1"=30'    |
|-----------|-----------|
| JOB No.   | 1027A     |
| DATE      | JAN. 2008 |
| FCP-2     |           |
| SHEET No. | 2 OF 3    |

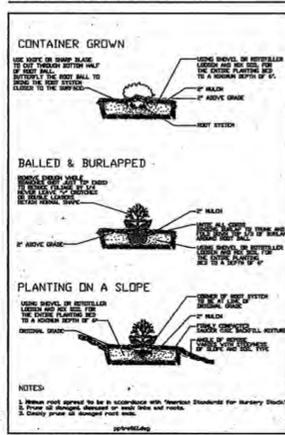
**FOREST CONSERVATION INSPECTION PROCEDURES**

- Upon permit issuance, the builder/developer must arrange for an engineers' stake out of tree protection in accordance with approved plans. A preconstruction meeting will then be scheduled to determine the location of tree protection devices. The Planning and Code Administration inspector shall adjust tree protection and root pruning in the field as necessary, which may expand or decrease the area being protected. Installation of all tree protection devices should be scheduled and an inspection arranged with the City after all work is complete. The City will issue a punch list for any remaining work needed prior to the start of grading, or issue a report approving the start of grading.
- Once work begins on-site, the tree protection devices will be reinspected on a biweekly basis, and the builder/developer will be notified of any work that is needed. It shall be the builder/developer's responsibility to maintain all tree protection devices and make any repairs needed.
- City approval is required prior to removal of any tree protection device or entrance into a tree save area. *Tree save areas cannot be used for storage of any building materials.*
- The Planning and Code Administration inspector may require pruning and removal of any tree in the tree save area during construction and prior to bond release. These decisions will be based on the trees' health, proximity to buildings, drainage, or other concerns. Every effort will be made to preserve those trees in the tree save area.
- The City will require mitigation of trees lost during construction in accordance with the Forest Conservation Ordinance. Mitigation will be required prior to bond release, and all replacement trees must be inspected by the City after installation. These replacement trees shall have a one-year guarantee in accordance with the industry standards. The City may also allow the developer to escrow monies for mitigation to satisfy their obligation, which will be used by the City to purchase and install the replacement trees.
- For mitigation and afforestation, City inspection is required after the plantings have been made. The maintenance period, one year or as stated in the maintenance agreement, will not begin until this inspection has been made. Quarterly reports to the City, if required, on the health of the trees in the save area should also be made, and any recommendations implemented. It shall be the builder/developer's responsibility to maintain these plantings until they are accepted by the City. A final inspection by the City will be made prior to the end of the maintenance period, and a punch list developed for any trees that need to be replaced. The City may allow the developer to escrow monies to satisfy their obligation for any further planting required, which will be used by the City to purchase and install the replacement trees.
- It shall be the builder/developer's responsibility to satisfy all requirements and conditions of the Forest Conservation Plan and/or any maintenance agreement. In the event of a violation, the City will take enforcement action in accordance with the Trees and Forest Conservation Ordinance (Chapter 22) of the City Code. This may include correction notices, civil citations, or collection of the bond guaranteeing this work.

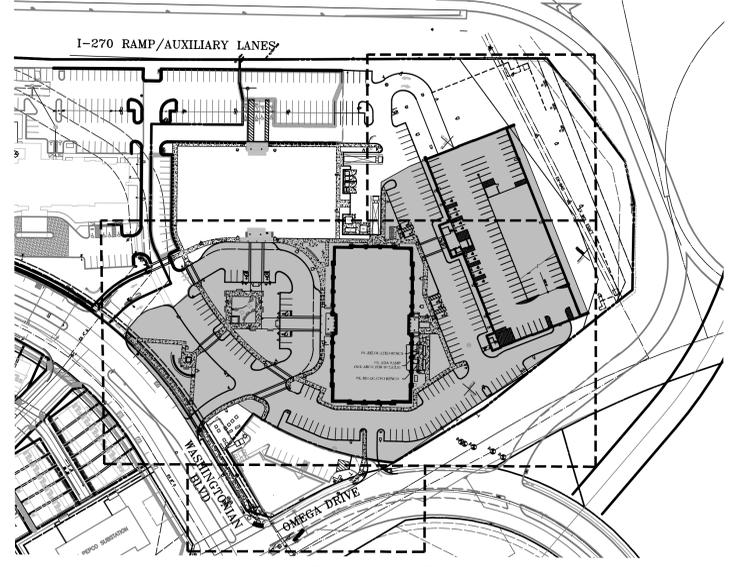
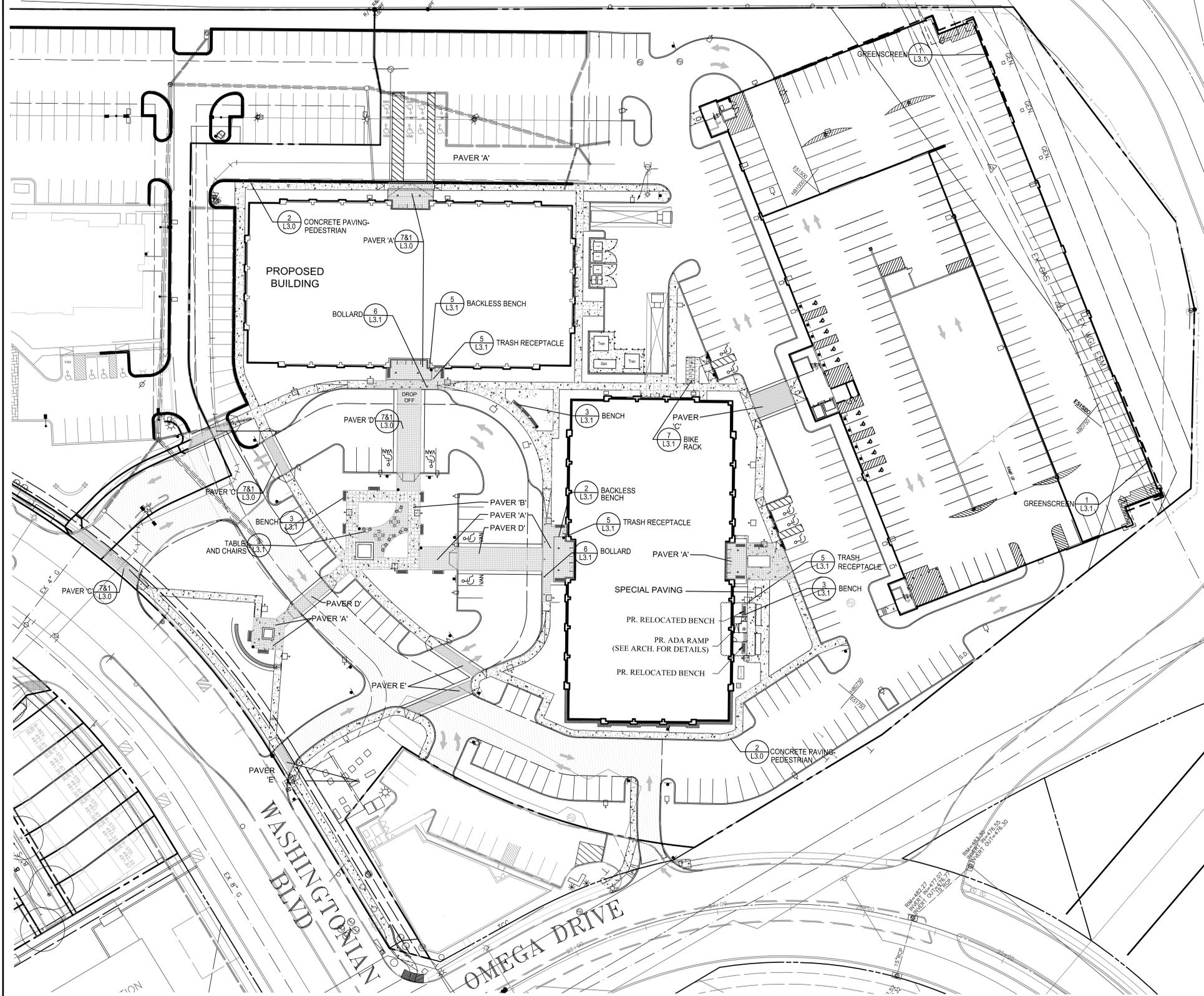
3. General Notes. The following general notes must be placed on all landscape plans where relevant:
- Individual homeowners must be notified at least one week prior to installation of plants on lots that have an occupied dwelling.
  - Unless otherwise stipulated by specific requirements of this manual, the landscaping shown on this plan must be planted in accordance with the latest edition of Landscape Specification Guidelines, developed by the MD-DC-VA Chapter of the Landscape Contractors Association.
  - All trees are to be located a minimum distance of 5 feet from all utility boxes, 5 feet from a storm drain inlet or man-hole, 10 feet from a fire hydrant, 15 feet from public street lights, 5 feet from driveway aprons, 20 feet from any traffic control sign, and at least 30 feet from any intersection.
  - Locations of street trees may be subject to change in order to avoid conflict with street lighting.
  - Any planting within a forest retention area, as designated on the forest conservation plan and shown on this plan, must be done to avoid any adverse impact to the roots of existing trees.
  - Plant type substitutions are permitted with verbal or written approval from the Planning and Code Administration.
  - All plant material will be reinspected for survival by the Planning and Code Administration one year following installation. A 10 percent maintenance bond will be retained during this time period.
  - All plants must meet the standards of the latest edition of American Standard for Nursery Stock sponsored by the Association of American Nurserymen.
  - No plant shall be located in areas of obvious poor drainage. If such conditions exist, contact the landscape architect immediately to relocate affected plant materials.
  - Soil conditions must be tested, verified and adjusted by the landscape contractor to insure that appropriate soil composition and PH levels are suitable for plant materials specified for that specific location.

19. The following notes:
- Pre-construction meeting, held on-site to include a presentation of protective measures to construction supervisor, equipment operator, developer's representative, and site and sediment control inspection.
  - Clearing limits shall be rough staked by developer in order to facilitate location for tree marking and fencing installation.
  - No clearing or grading shall begin in areas where tree treatment and preservation measures have not been completed.
  - The sequence of tree treatment and conservation measures shall be:
    - Root pruning/truncating.
    - Tree protection fencing.
    - Aeration system installation.
    - Sign installation.
    - Tree pruning and chemical treatment.
    - Match treatment.
  - Above measures shall be directed in the field by the project forester, arborist, naturalist, ecologist, site engineer or landscape architect.
  - Tree protection fencing shall be maintained and repaired by the developer or contractor for the duration of construction and once approved by the city site inspector, must not be altered without prior approval by the city site inspector.
  - Access to fenced areas will only be permitted with the prior approval of the owner's representative and the city site inspector.
  - Designated retention zones shall be protected with temporary fencing until final grading.
  - Any excavation or grading required within the fenced areas shall be done as directed and approved by the person mentioned in note # 5 and the city site inspector.
  - Trees, shrubs, or undergrowth shall be removed from the protected root zone areas only when necessary and shall be removed by hand.
  - Refer to tree protection action key for specific treatment of each specimen tree.
  - Attachment of signage, fencing, etc., to trees to be saved is prohibited.
  - After construction, all temporary barriers, fencing, debris, etc., shall be removed from the site by the contractor.
  - No soil or level shall be planted within the designated root zones for all trees to be saved.

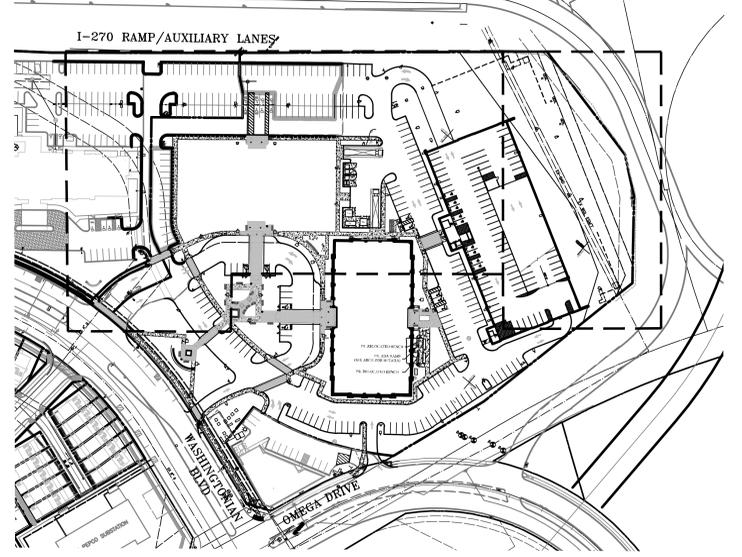
**SHRUB PLANTING**



# I-270 RAMP/AUXILIARY LANES



**PLAN : DRAWING KEY PHASE 1 (EXISTING)**  
SCALE: 1" = 100'



**PLAN : DRAWING KEY PHASE 2**  
SCALE: 1" = 100'

**Note:**  
1. Amendment for proposed educational use, new door access, sidewalk and ADA ramp.

CITY OF GAITHERSBURG MAYOR & COUNCIL  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SCHEMATIC DEVELOPMENT PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XXX, 2016  
APPLICATION NO. SDP-16- WAS GRANTED  
SCHEMATIC DEVELOPMENT PLAN APPROVAL  
BY RESOLUTION WITH ( ) CONDITIONS.  
DATE XXXX/XX/XX BY \_\_\_\_\_  
**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL.

CITY OF GAITHERSBURG PLANNING COMMISSION  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SITE PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XXX, 2016  
APPLICATION NO. APP-XXXX-2012 WAS GRANTED  
**AMENDMENT TO FINAL PLAN APPROVAL**  
WITH XX ( ) CONDITIONS. SEE S.D.A. LETTER.  
DATE XXXX/XX/XX BY \_\_\_\_\_  
**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE APPROVED BY THE PLANNING COMMISSION OR PLANNING STAFF.



| REVISION | DATE | REVISION | DATE | REVISION | DATE |
|----------|------|----------|------|----------|------|
|          |      |          |      |          |      |
|          |      |          |      |          |      |
|          |      |          |      |          |      |

Owner / Developer:  
**AREP 9711 Washingtonian South LLC**  
American Real Estate Ptnshp LLC  
2350 Corporate Park Drive  
Suite 110  
Herndon, Virginia 20171  
703.435.4800  
Attn: Jeff Strup

## LANDSCAPE MATERIAL SITE PLAN

**RODGERS CONSULTING**  
19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

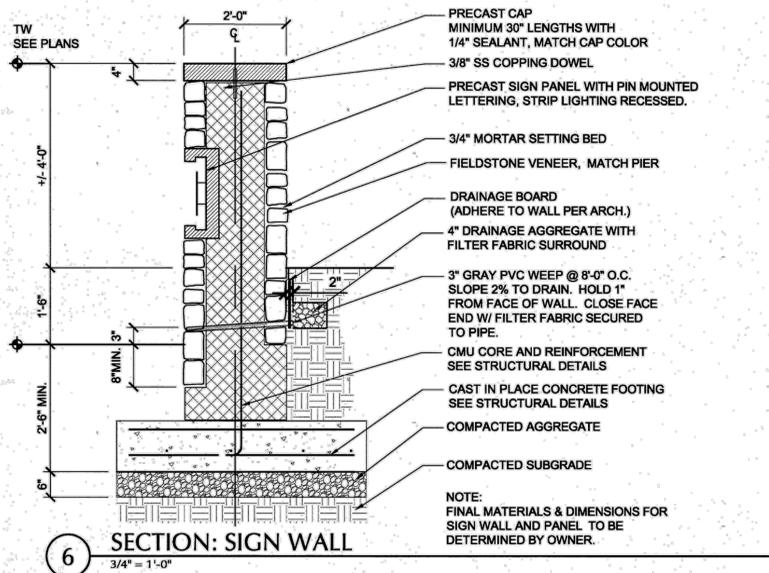
| BY                             | DATE                     |
|--------------------------------|--------------------------|
| BASE DATA                      | CADD                     |
| DESIGNED                       | RDW 08/2016              |
| DRAWN                          | RDW 08/2016              |
| REVIEWED                       |                          |
| RODGERS CONTACT: Ryan D. White |                          |
| RELEASE FOR                    | <input type="checkbox"/> |
| BY _____                       | DATE _____               |

## WASHINGTONIAN CENTER SOUTH-SEVEN SDP Amendment

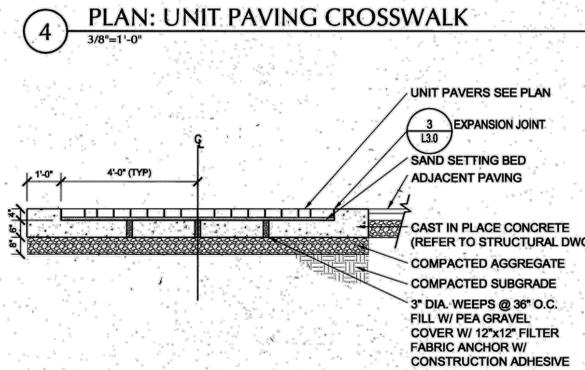
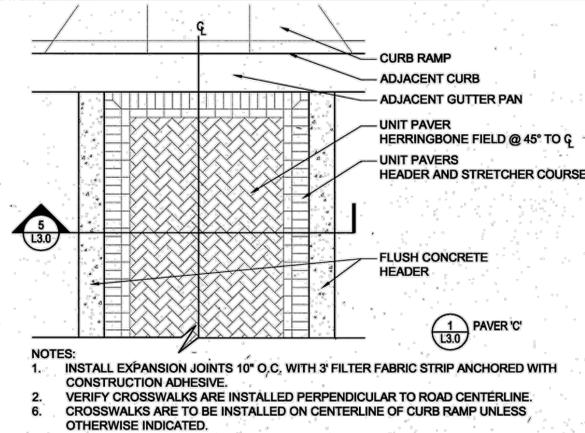
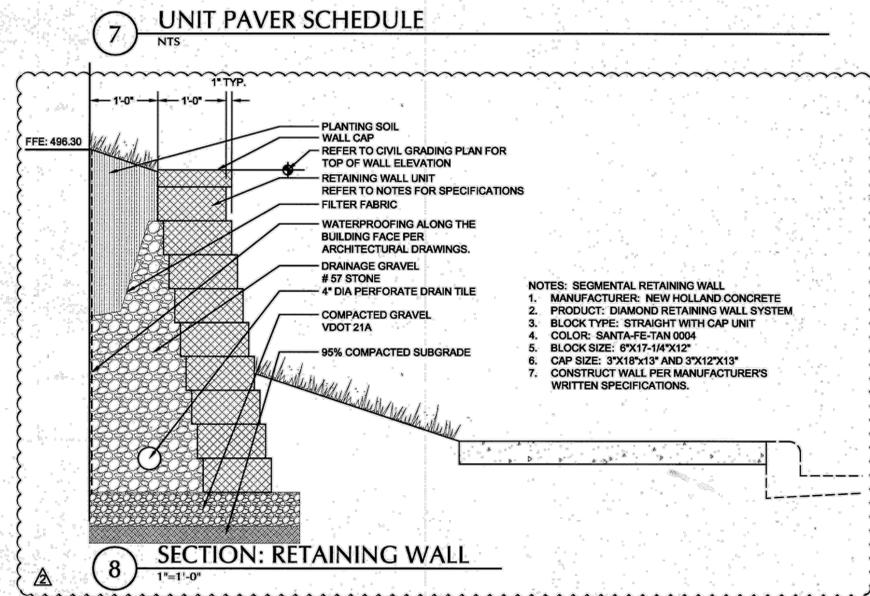
PARCEL K, BLOCK C  
Election District (No.9), Montgomery County, Maryland

SCALE: 1" = 30'  
JOB No. 1207-A  
DATE: September 2016  
**L-1.0**  
SHEET No. 0f

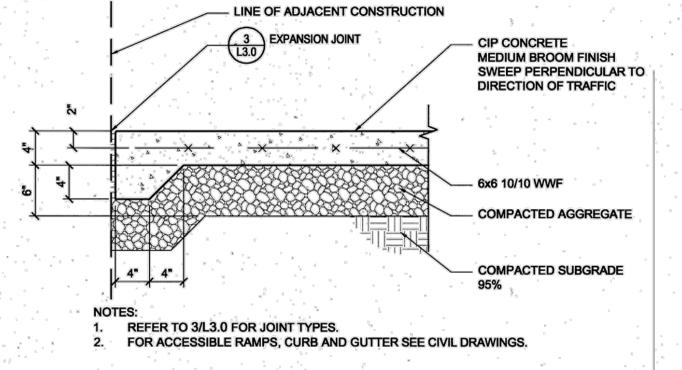
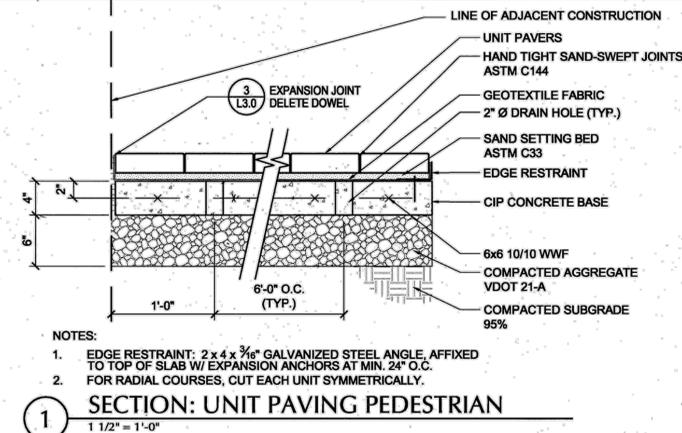
PRELIMINARY NOT FOR CONSTRUCTION



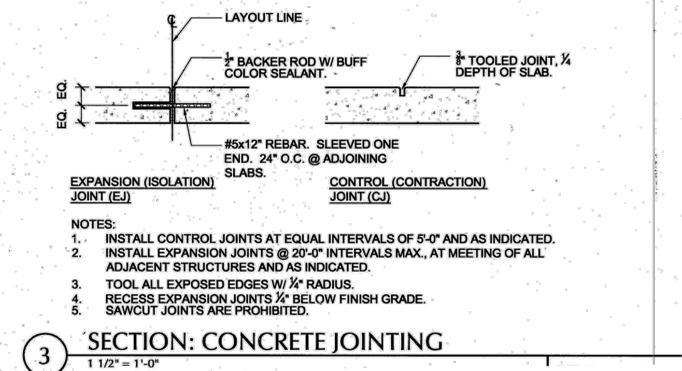
| PAVER | TYPE                      | MANUFACTURER                            | SIZE           | FINISH       | COLOR          |
|-------|---------------------------|---|----------------|--------------|----------------|
| A     | CONC UNIT PAVER           | HANOVER ARCHITECTURAL<br>1-800-426-4242 | 12" x 12" x 2" | TUDOR FINISH | MATRIX # M1842 |
| B     | CONC UNIT PAVER           | HANOVER ARCHITECTURAL<br>1-800-426-4242 | 24" x 24" x 2" | TUDOR FINISH | NATURAL        |
| C     | CONC UNIT PAVER VEHICULAR | HANOVER ARCHITECTURAL<br>1-800-426-4242 | 4" x 8" x 3"   | TUDOR FINISH | CHARCOAL       |
| D     | CONC UNIT PAVER VEHICULAR | HANOVER ARCHITECTURAL<br>1-800-426-4242 | 8" x 8" x 3"   | TUDOR FINISH | MATRIX # M1842 |



5 SECTION: UNIT PAVING CROSSWALK  
1/2" = 1'-0"



2 SECTION: CONCRETE PAVING PEDESTRIAN  
1 1/2" = 1'-0"



3 SECTION: CONCRETE JOINTING  
1 1/2" = 1'-0"

Note:  
1. No amendment proposed this sheet.

CITY OF GAITHERSBURG MAYOR & COUNCIL  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SCHEMATIC DEVELOPMENT PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XXX, 2016  
CITY COUNCIL HELD ON SDP-16 WAS GRANTED  
APPLICATION NO. SDP-16 WAS GRANTED  
SCHEMATIC DEVELOPMENT PLAN APPROVAL  
BY RESOLUTION        WITH        ( ) CONDITIONS.  
DATE       /      /       BY       

CITY OF GAITHERSBURG PLANNING COMMISSION  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SITE PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XXX, 2016  
APPLICATION NO. APP-XXXX-2012 WAS GRANTED  
**AMENDMENT TO FINAL PLAN APPROVAL**  
WITH XX ( ) CONDITIONS. SEE S.D. LETTER.  
DATE       /      /       BY       



| REVISION | DATE | REVISION | DATE | REVISION | DATE |
|----------|------|----------|------|----------|------|
|          |      |          |      |          |      |
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|          |      |          |      |          |      |

Owner / Developer:  
**AREP 971 | Washingtonian South LLC**  
American Realstate Pnship LLC  
2350 Corporate Park Drive  
Suite 110  
Herndon, Virginia 20171  
703.435.4800  
Attn: Jeff Strup

# PAVING & WALL DETAILS

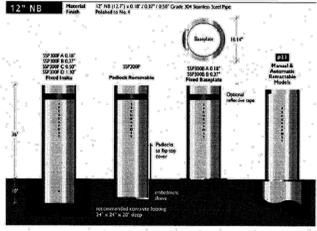
**RODGERS CONSULTING**  
19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

| BY          | DATE        |
|-------------|-------------|
| BASE DATA   | CADD        |
| DESIGNED    | RDW 08/2016 |
| DRAWN       | RDW 08/2016 |
| REVIEWED    |             |
| RELEASE FOR |             |
| BY          | DATE        |

**WASHINGTONIAN CENTER**  
SOUTH-SEVEN SDP Amendment  
PARCEL K, BLOCK C  
Election District (No.9), Montgomery County, Maryland

SCALE: Viewport/Scale  
JOB No. 1207-A  
DATE: eptember 2016  
**L-3.0**  
SHEET No. 02

PRELIMINARY NOT FOR CONSTRUCTION



MANUFACTURER: LEDA INTERNATIONAL:  
AMERICAN ANTI-RAM  
TELEPHONE NUMBER: 1-804-737-1825  
MODEL NUMBER: 150F  
DESCRIPTION: STAINLESS STEEL  
INSTALLATION DETAIL: FIXED

6 BOLLARD  
NTS



MANUFACTURER: LANDSCAPEFORMS, INC  
1-800 521-2546  
MODEL: 35 MINGLE SEATING (2) & (4), SOLSTICE  
ALTAIR UMBRELLA  
TABLE TOP: MARNEAUX; 30" DIA (CAFE), 42" DIA  
WITH UMBRELLA HOLE  
COLOR/FINISH: TRANSLUCENT COLORS TO BE  
DETERMINED  
INSTALLATION DETAIL: SURFACE MOUNTING  
OR FREESTANDING

4 CHAIR AND TABLE AND UMBRELLA  
NTS

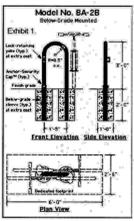


MANUFACTURER: GREENSCREEN, INC.  
1-800-450-3494  
MODEL: MODULAR, WALL HUNG TRELLIS PANELS  
INSTALLATION DETAIL: WALL MOUNTED

5136 SPACER 1/2" THICK X 1 1/2" DIA.  
WALL FASTENER, PROVIDE SHOP DRAWINGS  
5132A ADJUSTABLE MOUNTING CLIP. TWO PIECES WITH STAINLESS STEEL BOLT, WASHERS, AND WING NUT.  
3" THICK GREENSCREEN PANEL WITH 5104 STEEL CHANNEL TRIM.  
WALL

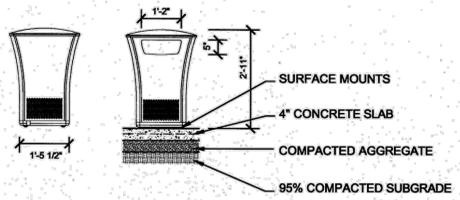
NOTE:  
1. GREEN SCREEN PLANT MATERIAL REFER TO PLANTING SCHEDULE SHEET L4.5.

1 SECTION: PHASE 2 GREENSCREEN  
NTS



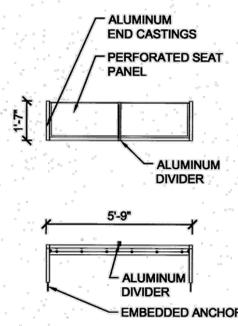
MODEL: HOOP DESIGN  
FINISH: STAINLESS STEEL  
INSTALLATION DETAIL: BELOW GRADE MOUNT

7 BIKE RACK  
NTS



MANUFACTURER: LANDSCAPEFORMS, INC  
TELEPHONE NUMBER: 1-800 521-2546  
MODEL NUMBER: PITCH RECEPTACLE LINE: WITH SIDE OPENING AND ASH URN ON TOP  
DESCRIPTION: SILVER FINISH WITH POWDERCOAT (49-90380)  
USE COMBINATION OF TRASH RECEPTACLE AND ASH URN.  
INSTALLATION DETAIL: SURFACE MOUNTING TO CONCRETE PAD  
ACCESSORIES: INCLUDE LINER FOR TRASH

5 TRASH RECEPTACLE  
NTS

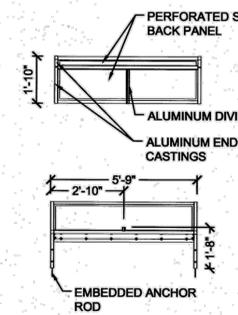


MANUFACTURER: LANDSCAPEFORMS, INC  
1-800 521-2546  
MODEL: STAY LINE: BACKLESS BENCH  
FINISH: STAINLESS STEEL  
INSTALLATION DETAIL: EMBEDDED MOUNTING TO CONCRETE PAD  
ACCESSORIES: EMBEDDED ANCHORS  
NO ARMS AND 1 DIVIDER

PERFORATED PANEL DETAIL

ALUMINUM DIVIDER  
EMBEDDED ANCHORS  
4" CONCRETE SLAB  
COMPACTED AGGREGATE  
95% COMPACTED SUBGRADE

2 BENCH - BACKLESS  
3/8" = 1'-0"

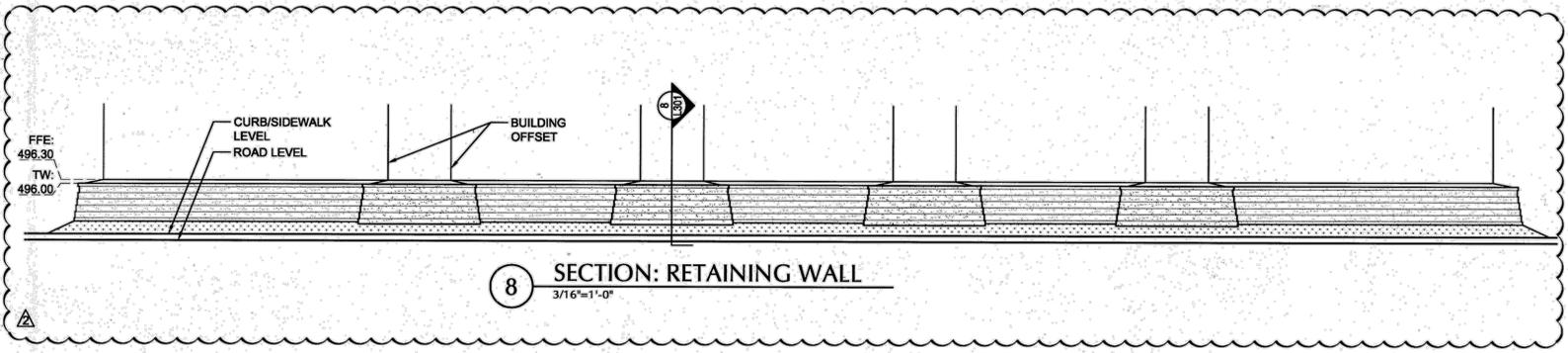


MANUFACTURER: LANDSCAPEFORMS, INC  
1-800 521-2546  
MODEL: STAY LINE: WITH BACK BENCH  
FINISH: STAINLESS STEEL  
INSTALLATION DETAIL: EMBEDDED MOUNTING TO CONCRETE PAD  
ACCESSORIES: EMBEDDED ANCHORS  
NO ARMS AND 1 DIVIDER

PERFORATED PANEL DETAIL

EMBEDDED ANCHORS  
4" CONCRETE SLAB  
COMPACTED AGGREGATE  
95% COMPACTED SUBGRADE

3 BENCH - WITH BACK  
3/8" = 1'-0"



8 SECTION: RETAINING WALL  
3/16" = 1'-0"

Note:  
1. No amendment proposed this sheet.

CITY OF GAITHERSBURG MAYOR & COUNCIL  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SCHEMATIC DEVELOPMENT PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XXX, 2016  
CITY COUNCIL HELD ON XXX, 2016  
APPLICATION NO. SDP-16- WAS GRANTED  
SCHEMATIC DEVELOPMENT PLAN APPROVAL  
BY RESOLUTION        WITH        (        ) CONDITIONS.  
DATE XXXX/XX/XX BY       

CITY OF GAITHERSBURG PLANNING COMMISSION  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SITE PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XXX, 2016  
APPLICATION NO. APP-XXXX-2012 WAS GRANTED  
**AMENDMENT TO FINAL PLAN APPROVAL**  
WITH XX (        ) CONDITIONS. SEE S.D.A. LETTER.  
DATE XXXX/XX/XX BY       

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL.

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE APPROVED BY THE PLANNING COMMISSION OR PLANNING STAFF.



| REVISION | DATE | REVISION | DATE | REVISION | DATE |
|----------|------|----------|------|----------|------|
|          |      |          |      |          |      |
|          |      |          |      |          |      |
|          |      |          |      |          |      |
|          |      |          |      |          |      |

Owner / Developer:  
**AREP 971 | Washingtonian South LLC**  
American Realstate Ptnshp LLC  
2350 Corporate Park Drive  
Suite 110  
Herndon, Virginia 20171  
703.435.4800  
Attn: Jeff Strup

# SITE FURNISHING DETAILS

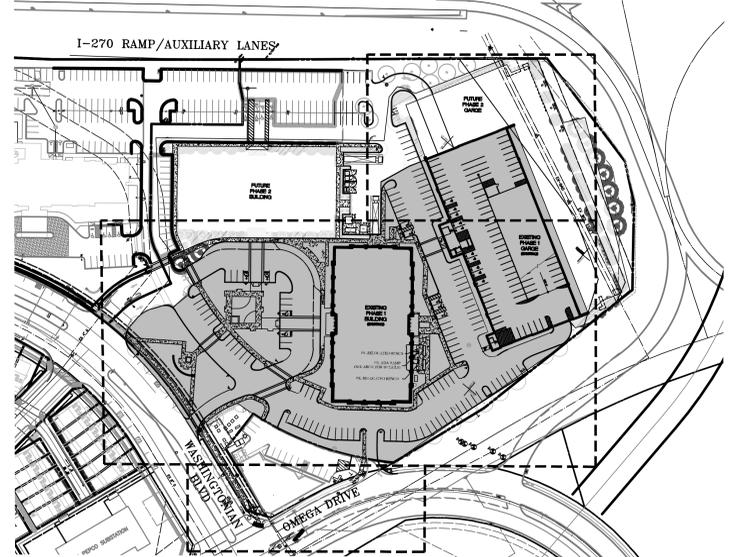
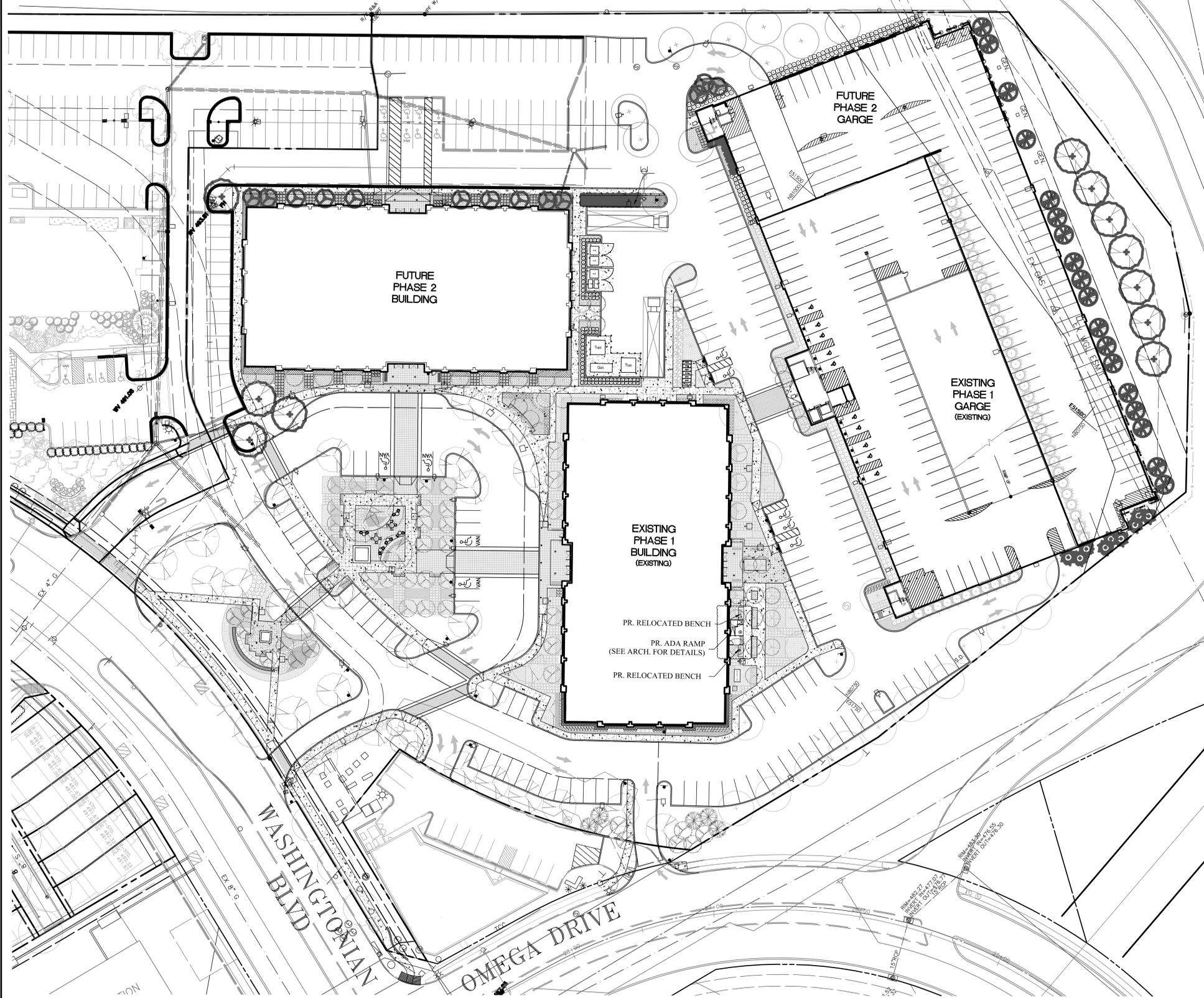
**RODGERS CONSULTING**  
19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

| BY                             | DATE        |
|--------------------------------|-------------|
| BASE DATA                      | CADD        |
| DESIGNED                       | RDW 08/2016 |
| DRAWN                          | RDW 08/2016 |
| REVIEWED                       |             |
| RODGERS CONTACT: Ryan D. White |             |
| RELEASE FOR                    |             |
| BY                             | DATE        |

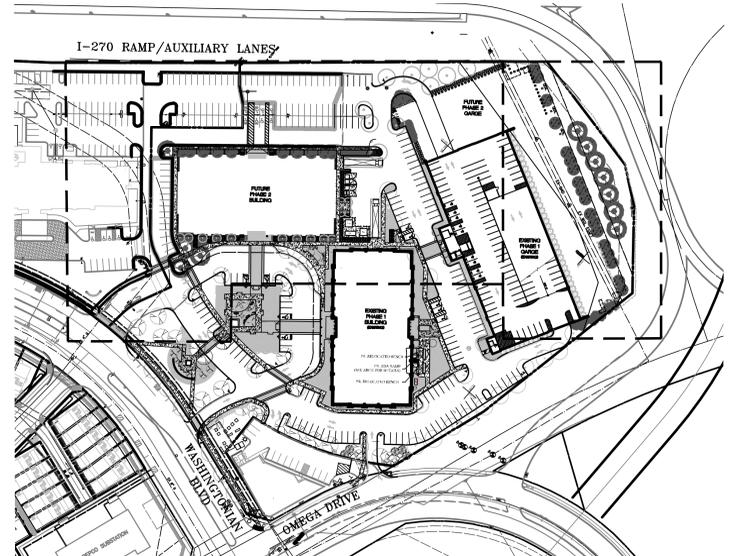
**WASHINGTONIAN CENTER**  
SOUTH-SEVEN SDP Amendment  
PARCEL K, BLOCK C  
Election District (No.9), Montgomery County, Maryland

SCALE: As Noted  
JOB No. 1207-A  
DATE: September 2016  
**L-3.1**  
SHEET No. 09

# I-270 RAMP/AUXILIARY LANES



PLAN : DRAWING KEY PHASE 1 (EXISTING)  
SCALE: 1" = 100'



PLAN : DRAWING KEY PHASE 2  
SCALE: 1" = 100'

- NOTE:
1. MATERIAL & SITE FURNISHING NOTES REFER TO L1.0
  2. PHASE ONE IMPROVEMENTS HAVE BEEN CONSTRUCTED.

Note:  
1. Amendment for proposed educational use, new door access, sidewalk and ADA ramp.

CITY OF GAITHERSBURG MAYOR & COUNCIL  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SCHEMATIC DEVELOPMENT PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XXX, 2016  
CITY COUNCIL HELD ON XXX, 2016 WAS GRANTED APPLICATION NO. SDP-16-  
SCHEMATIC DEVELOPMENT PLAN APPROVAL BY RESOLUTION --- WITH ( ) CONDITIONS.  
DATE XXXX/XX/XX BY ---

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL.

CITY OF GAITHERSBURG PLANNING COMMISSION  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SITE PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XXX, 2016  
APPLICATION NO. APP-XXXX-2012 WAS GRANTED AMENDMENT TO FINAL PLAN APPROVAL WITH XX (\*) CONDITIONS. SEE S.D. LETTER. DATE XXXX/XX/XX BY ---

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE APPROVED BY THE PLANNING COMMISSION OR PLANNING STAFF.

PROFESSIONAL CERTIFICATION  
I hereby certify that these documents were prepared or approved by me in accordance with the Montgomery County Department of Public Works and Transportation "Seal and Design Control" dated June 10, 2014, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13976, Expiration Date: 6/1/18.



| REVISION | DATE | REVISION | DATE | REVISION | DATE |
|----------|------|----------|------|----------|------|
|          |      |          |      |          |      |
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|          |      |          |      |          |      |
|          |      |          |      |          |      |

Owner / Developer:  
**AREP 9711 Washingtonian South LLC**  
American Real Estate Ptnship LLC  
2350 Corporate Park Drive  
Suite 110  
Herndon, Virginia 20171  
703.435.4800  
Attn: Jeff Strup

## OVERALL PLANTING & KEY PLAN

**RODGERS CONSULTING**  
19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

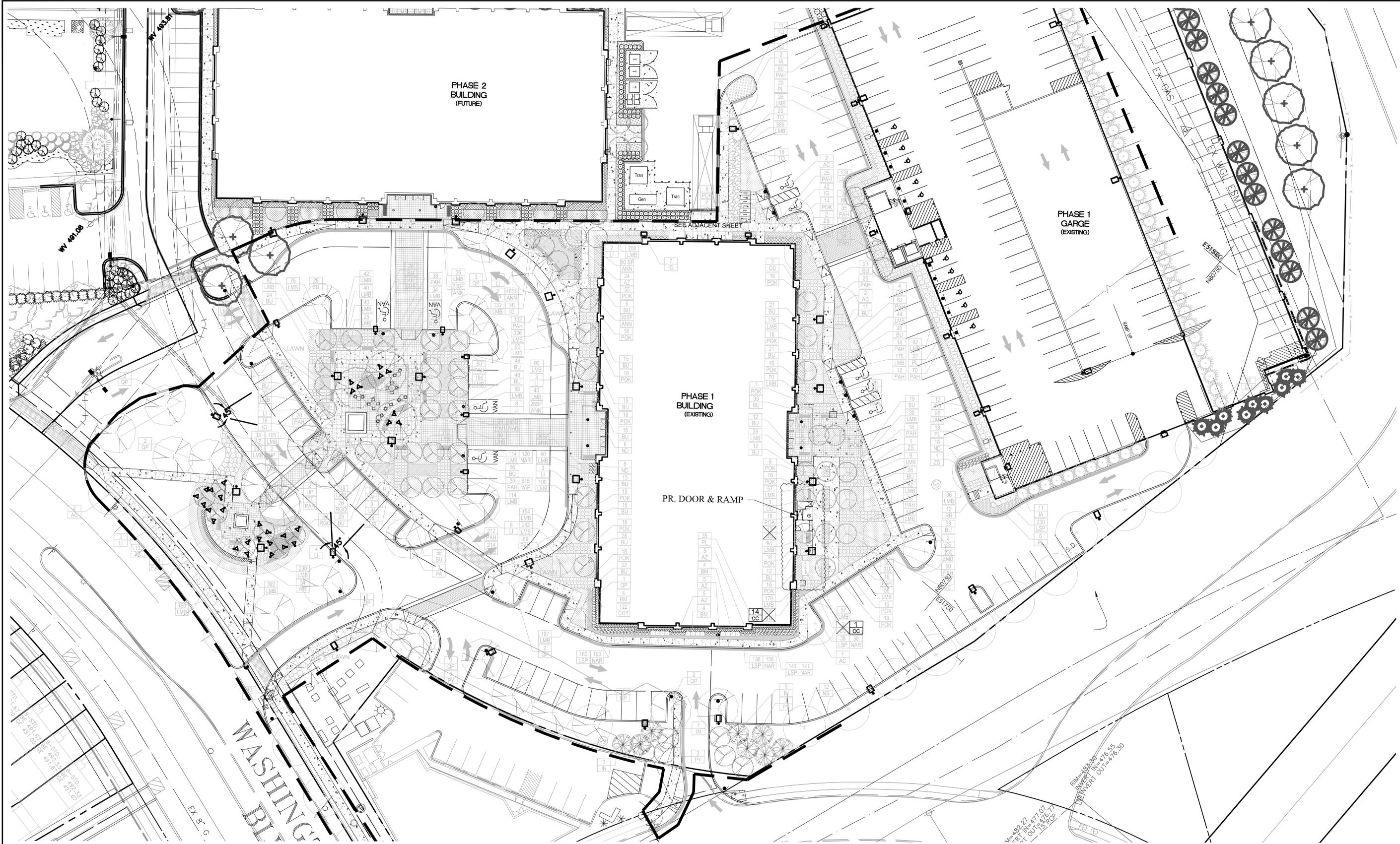
| BY               | DATE                     |
|------------------|--------------------------|
| BASE DATA        | CADD                     |
| DESIGNED         | RDW 08/2016              |
| DRAWN            | RDW 08/2016              |
| REVIEWED         | ---                      |
| RODGERS CONTACT: | Ryan D. White            |
| RELEASE FOR      | <input type="checkbox"/> |
| BY               | DATE                     |

## WASHINGTONIAN CENTER SOUTH-SEVEN SDP Amendment

PARCEL K, BLOCK C  
Election District (No.9), Montgomery County, Maryland

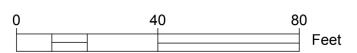
SCALE: ViewportScale  
JOB No. 1207-A  
DATE: September 2016  
**L-4.0**  
SHEET No. 02

PRELIMINARY NOT FOR CONSTRUCTION



NOTE:  
1. PHASE ONE IMPROVEMENTS  
HAVE BEEN CONSTRUCTED.

PLAN : PLANTING  
SCALE: 1" = 20'



Note:  
1. Amendment for proposed educational use, new door access, sidewalk and ADA ramp.

CITY OF GAITHERSBURG MAYOR & COUNCIL  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SCHEMATIC DEVELOPMENT PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XXX, 2016  
APPLICATION NO. SDP-16 WAS GRANTED  
SCHEMATIC DEVELOPMENT PLAN APPROVAL  
BY RESOLUTION        WITH        CONDITIONS. SEE S.D.A. LETTER.  
DATE XX/XX/XX BY         
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL.

CITY OF GAITHERSBURG PLANNING COMMISSION  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SITE PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XXX, 2016  
APPLICATION NO. APP-XXXX-2012 WAS GRANTED  
AMENDMENT TO FINAL PLAN APPROVAL  
WITH XX (-) CONDITIONS. SEE S.D.A. LETTER.  
DATE XX/XX/XX BY         
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE APPROVED BY THE PLANNING COMMISSION OR PLANNING STAFF.

PROFESSIONAL CERTIFICATION  
I hereby certify that these documents were prepared or approved by me in accordance with the Montgomery County Department of Public Works and Transportation "Seal Design Criteria", dated June 10, 2014, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13976, Expiration Date 6/1/18.



| REVISION | DATE | REVISION | DATE | REVISION | DATE |
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Owner / Developer:  
**AREP 9711 Washingtonian South LLC**  
American Real Estate Ptnship LLC  
2350 Corporate Park Drive  
Suite 110  
Herndon, Virginia 20171  
703.435.4800  
Attn: Jeff Strup

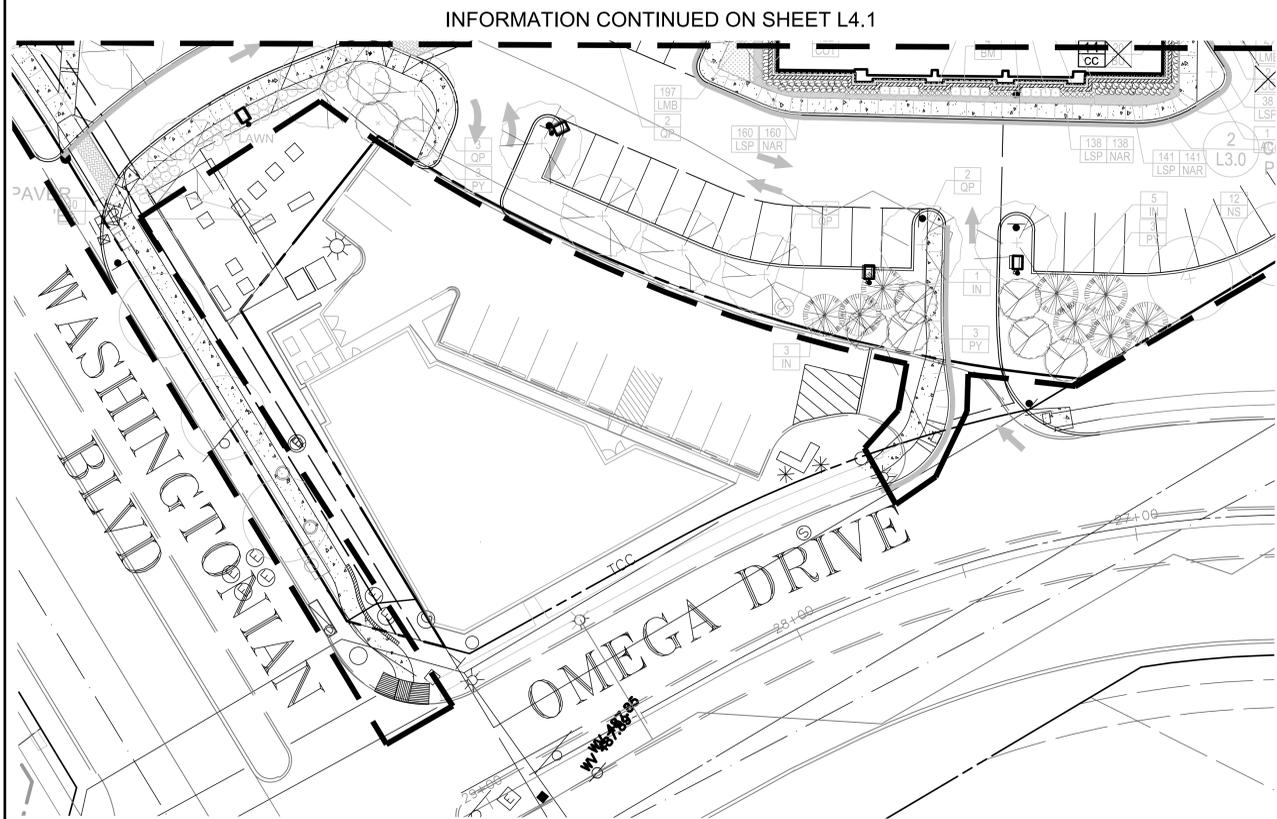
# PHASE 1 PLANTING PLAN



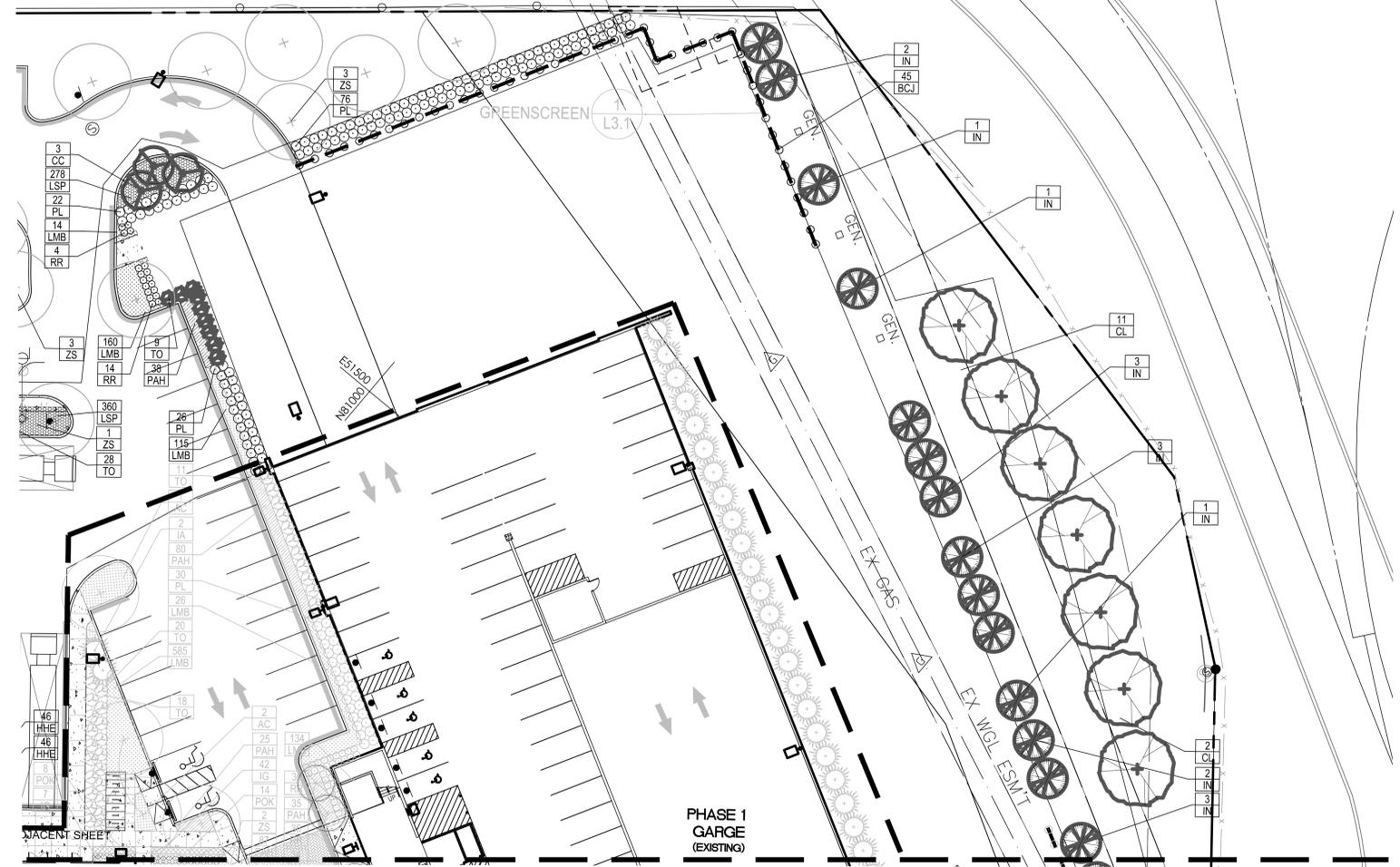
| BY                             | DATE        |
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| BASE DATA                      | CADD        |
| DESIGNED                       | RDW 08/2016 |
| DRAWN                          | RDW 08/2016 |
| REVIEWED                       |             |
| RODGERS CONTACT: Ryan D. White |             |
| RELEASE FOR                    |             |
| BY                             | DATE        |

**WASHINGTONIAN CENTER**  
SOUTH-SEVEN SDP Amendment  
PARCEL K, BLOCK C  
Election District (No.9), Montgomery County, Maryland

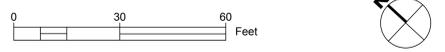
SCALE: 1" = 20'  
JOB No. 1207-A  
DATE: september 2016  
**L-4.1**  
SHEET No. 09



**PLAN : STREETSCAPE & PARKING LOT PLANTING**  
SCALE: 1" = 20'



**PLAN : PHASE 1 GARAGE PLANTING**  
SCALE: 1" = 20'



**NOTE:**  
1. PHASE ONE IMPROVEMENTS  
HAVE BEEN CONSTRUCTED.

**Note:**  
1. No amendment proposed this sheet.

CITY OF GAITHERSBURG MAYOR & COUNCIL  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SCHEMATIC DEVELOPMENT PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XXX  
APPLICATION NO. SDP-XXX WAS GRANTED  
SCHEMATIC DEVELOPMENT PLAN APPROVAL  
BY RESOLUTION     WITH     ( ) CONDITIONS.  
DATE     BY      
**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL.

CITY OF GAITHERSBURG PLANNING COMMISSION  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SITE PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XXX  
APPLICATION NO. SP-XXX WAS GRANTED  
**AMENDMENT TO FINAL PLAN APPROVAL**  
WITH     ( ) CONDITIONS. SEE S.D.A. LETTER.  
DATE     BY      
**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION OR PLANNING STAFF.

PROFESSIONAL CERTIFICATION  
I hereby certify that these documents were prepared or approved by me in accordance with the Montgomery County Department of Public Works and Transportation "Seal and Design Criteria", dated June 10, 2014, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13970, Expiration Date 6/1/18.



| REVISION | DATE | REVISION | DATE | REVISION | DATE |
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|          |      |          |      |          |      |

Owner / Developer:  
**AREP 971 | Washingtonian South LLC**  
American Real Estate Ptnship LLC  
2350 Corporate Park Drive  
Suite 110  
Herndon, Virginia 20171  
703.435.4800  
Attn: Jeff Strup

# PHASE 1 PLANTING PLAN

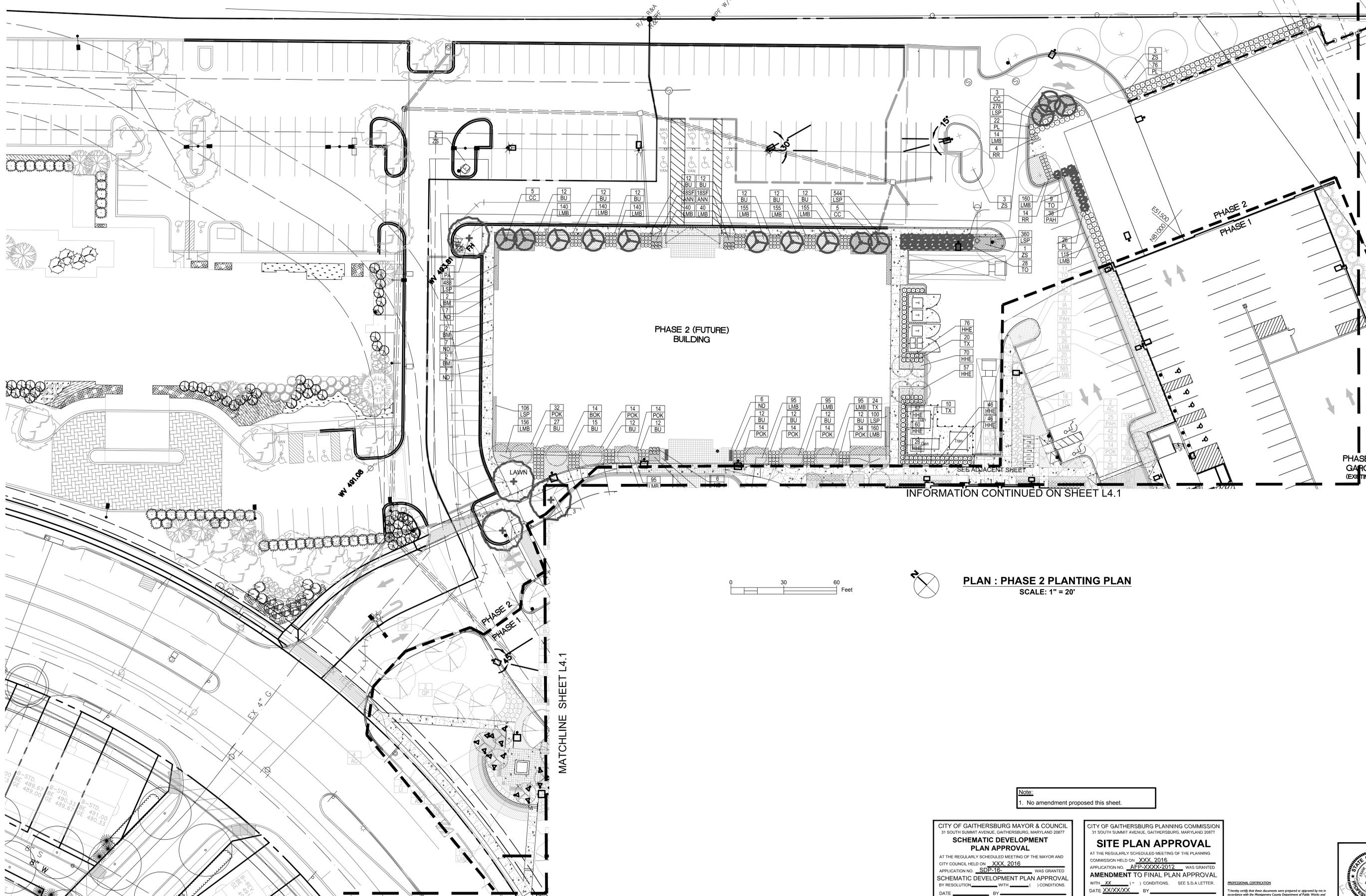
**RODGERS CONSULTING**  
19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

|                                |             |
|--------------------------------|-------------|
| BY                             | DATE        |
| BASE DATA                      | CADD        |
| DESIGNED                       | RDW 08/2016 |
| DRAWN                          | RDW 08/2016 |
| REVIEWED                       |             |
| RODGERS CONTACT: Ryan D. White |             |
| RELEASE FOR                    |             |
| BY                             | DATE        |

**WASHINGTONIAN CENTER**  
SOUTH-SEVEN SDP Amendment  
PARCEL K, BLOCK C  
Election District (No.9), Montgomery County, Maryland

SCALE: 1" = 20'  
JOB No. 1207-A  
DATE: september 2016  
**L-4.2**  
SHEET No. 02

1-270 RAMP/AUXILIARY LANES



INFORMATION CONTINUED ON SHEET L4.1



PLAN : PHASE 2 PLANTING PLAN  
SCALE: 1" = 20'

Note:  
1. No amendment proposed this sheet.

CITY OF GAITHERSBURG MAYOR & COUNCIL  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SCHEMATIC DEVELOPMENT PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XXX, 2016  
APPLICATION NO. SDP-16 WAS GRANTED  
SCHEMATIC DEVELOPMENT PLAN APPROVAL  
BY RESOLUTION        WITH        CONDITIONS.  
DATE        BY       

CITY OF GAITHERSBURG PLANNING COMMISSION  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SITE PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XXX, 2016  
APPLICATION NO. APP-XXXX-2012 WAS GRANTED  
**AMENDMENT TO FINAL PLAN APPROVAL**  
WITH XX (-) CONDITIONS. SEE S.D.A. LETTER.  
DATE        BY       

PROFESSIONAL CERTIFICATION  
I hereby certify that these documents were prepared or approved by me in accordance with the Montgomery County Department of Public Works and Transportation "Seal Design Criteria", dated June 10, 2014, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13976, Expiration Date: 6/1/18.



| REVISION | DATE | REVISION | DATE | REVISION | DATE |
|----------|------|----------|------|----------|------|
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Owner / Developer:  
**AREP 9711 Washingtonian South LLC**  
American Real Estate Ptnship LLC  
2350 Corporate Park Drive  
Suite 110  
Herndon, Virginia 20171  
703.435.4800  
Attn: Jeff Strup

PHASE 2 PLANTING PLAN

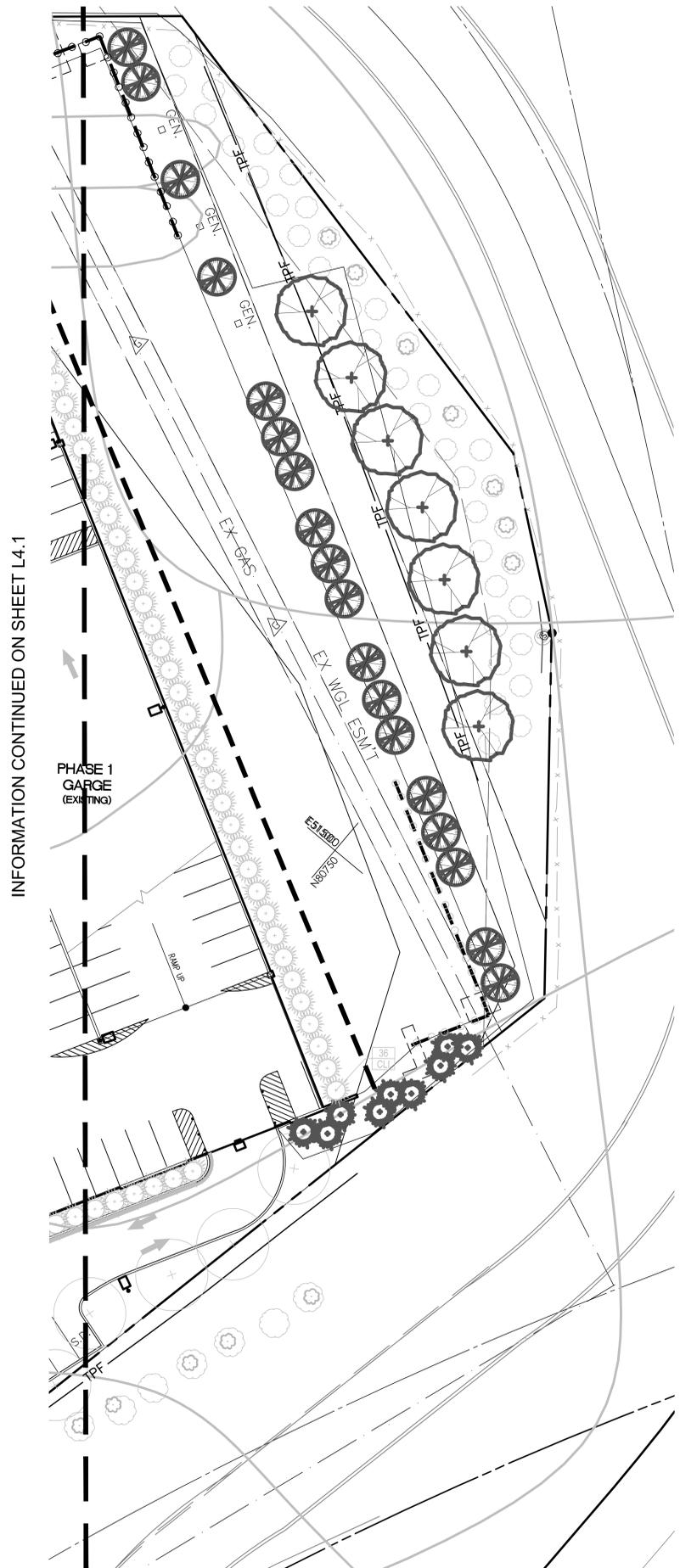


| BY          | DATE        |
|-------------|-------------|
| BASE DATA   | CADD        |
| DESIGNED    | RDW 08/2016 |
| DRAWN       | RDW 08/2016 |
| REVIEWED    |             |
| RELEASE FOR |             |
| BY          | DATE        |

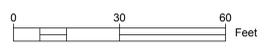
**WASHINGTONIAN CENTER**  
SOUTH-SEVEN SDP Amendment  
PARCEL K, BLOCK C  
Election District (No.9), Montgomery County, Maryland

SCALE: 1" = 20'  
JOB No. 1207-A  
DATE: September 2016  
**L-4.3**  
SHEET No. 09

PRELIMINARY NOT FOR CONSTRUCTION



INFORMATION CONTINUED ON SHEET L4.1



**PLAN : PHASE 2 PLANTING PLAN**  
SCALE: 1" = 20'

**Note:**  
1. No amendment proposed this sheet.

CITY OF GAITHERSBURG MAYOR & COUNCIL  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SCHEMATIC DEVELOPMENT PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XXX, 2016  
APPLICATION NO. SDP-16 WAS GRANTED  
SCHEMATIC DEVELOPMENT PLAN APPROVAL  
BY RESOLUTION        WITH        ( ) CONDITIONS.  
DATE        BY         
**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL.

CITY OF GAITHERSBURG PLANNING COMMISSION  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SITE PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XXX, 2016  
APPLICATION NO. APP-XXXX-2012 WAS GRANTED  
**AMENDMENT TO FINAL PLAN APPROVAL**  
WITH XX ( - ) CONDITIONS. SEE S.D.A. LETTER.  
DATE XX/XX/XX BY         
**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION OR PLANNING STAFF.

**PROFESSIONAL CERTIFICATION**  
I hereby certify that these documents were prepared or approved by me in accordance with the Montgomery County Department of Public Works and Transportation "Storm Drain Design Criteria", dated June 10, 2014, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13970, Expiration Date 6/1/18.



| REVISION | DATE | REVISION | DATE | REVISION | DATE |
|----------|------|----------|------|----------|------|
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|          |      |          |      |          |      |

Owner / Developer:  
**AREP 971 I Washingtonian South LLC**  
American Real Estate Ptnship LLC  
2350 Corporate Park Drive  
Suite 110  
Herndon, Virginia 20171  
703.435.4800  
Attn: Jeff Strup

# PHASE 2 PLANTING PLAN



|                                | BY                       | DATE    |
|--------------------------------|--------------------------|---------|
| BASE DATA                      | CADD                     |         |
| DESIGNED                       | RDW                      | 08/2016 |
| DRAWN                          | RDW                      | 08/2016 |
| REVIEWED                       |                          |         |
| RODGERS CONTACT: Ryan D. White |                          |         |
| RELEASE FOR                    | <input type="checkbox"/> |         |
| BY                             |                          | DATE    |

**WASHINGTONIAN CENTER**  
SOUTH-SEVEN SDP Amendment  
PARCEL K, BLOCK C  
Election District (No.9), Montgomery County, Maryland

SCALE: 1" = 20'  
JOB No. 1207-A  
DATE: september 2016  
**L-4.4**  
SHEET No. 09

| PHASE 1     |     |                                  |                             |            |       |              |                                       |
|-------------|-----|----------------------------------|-----------------------------|------------|-------|--------------|---------------------------------------|
| QTY         | KEY | BOTANICAL NAME                   | COMMON NAME                 | SIZE       | TYPE  | SPACING      | REMARKS                               |
| <b>TREE</b> |     |                                  |                             |            |       |              |                                       |
| 19          | AC  | Acer rubrum 'October Glory'      | October Glory Red Maple     | 3" Cal     | B & B | as indicated | matching, full, strong central leader |
| 21          | CC  | Cercis canadensis 'Forest Pansy' | Forest Pansy Eastern Redbud | 8'-10' HT  | B & B | as indicated | matching, multi. Stem (3-5 branches)  |
| 36          | CLI | x Cupressocyparis leylandii      | Leyland Cypress             | 12'-14' HT | B & B | 8' O.C.      | full to ground, dense. (PHASE I)      |
| 13          | IA  | Ilex x attenuata 'Foster'        | Foster Holly                | 10'-12' HT | B & B | as indicated | full to ground, dense.                |
| 5           | IN  | Ilex x Nellie R. Stevens         | Nellie Stevens Holly        | 8'-10' HT  | B & B | as indicated | full to ground, dense.                |
| 41          | LI  | Lagerstroemia indica 'Muskoegoe' | Muskogee Pink Crapemyrtle   | 8'-12' HT  | B & B | as indicated | full specimen, multi-stem             |
| 10          | NS  | Nyssa sylvatica 'NIX91' pp#11391 | Forum Tupelo (Black Gum)    | 3" Cal     | B & B | as indicated | matching, well branched               |
| 10          | PY  | Prunus x yedoensis               | Yoshino Cherry              | 2.5" Cal   | B & B | as indicated | full specimen, multi-stem             |
| 27          | QP  | Quercus phellos 'High Tower'     | High Tower Willow Oak       | 3" Cal     | B & B | as indicated | full, strong central leader           |
| 43          | TO  | Thuja occidentalis 'Nigra'       | Eastern Arborvitae          | 6'-8' HT   | B & B | as indicated | full to ground, dense.                |
| 7           | UP  | Ulmus parvifolia 'UPMTF'         | Bosque Lacebark Elm         | 3" Cal     | B & B | as indicated | matching, well branched               |

| SHRUB |    |                                   |                               |            |       |          |                |
|-------|----|-----------------------------------|-------------------------------|------------|-------|----------|----------------|
| 90    | AZ | Azalea x 'Robleg'                 | Autumn Angel Azalea           | 18"-24" HT | cont. | 24" O.C. | full and dense |
| 12    | BM | Buxus microphylla 'Winter Gem'    | Winter Gem Littleleaf Boxwood | 24"-30" HT | cont. | 36" O.C. | full and dense |
| 809   | BU | Buxus x 'Green Gem'               | Green Gem Boxwood             | 18"-24" HT | cont. | 24" O.C. | full and dense |
| 228   | IG | Ilex glabra 'Shamrock'            | Shamrock Inkberry             | 18"-24" HT | cont. | 24" O.C. | full and dense |
| 93    | ND | Nandina domestica 'Harbor Dwarf'  | Dwarf Nandina                 | 18"-24" HT | cont. | 24" O.C. | full and dense |
| 195   | PL | Prunus laurocerasus 'Otto Luyken' | Otto Luykens Laurel           | 24"-30" HT | cont. | 24" O.C. | full and dense |
| 138   | RR | Rosa var. 'nostraux'              | Flower Carpet Pink            | 1gal       | cont. | 24" O.C. | full and dense |

| PERENNIALS & ORNAMENTAL GRASSES |     |                                     |                           |        |       |          |                     |
|---------------------------------|-----|-------------------------------------|---------------------------|--------|-------|----------|---------------------|
| 1529                            | PAH | Pennisetum alopecuroides 'Harmelin' | Dwarf Fountain Grass      | 18" HT | cont. | 18" O.C. | mature, well rooted |
| 352                             | POK | Pennisetum orientale 'Karly Rose'   | Karly Rose Fountain Grass | 18" HT | cont. | 24" O.C. | mature, well rooted |
| 164                             | ROO | Rudbeckia fulgida 'Goldstrum'       | Black Eyed Susan          | 2 qt.  | cont. | 18" O.C. | mature, well rooted |

| GROUNDCOVER & VINES |     |   |                        |        |       |          |                     |
|---------------------|-----|---|------------------------|--------|-------|----------|---------------------|
| 122                 | COT | Cotoneaster salicifolius 'Scarlet Leader' | Willowleaf Cotoneaster | 18" ht | cont. | 18" O.C. | mature, well rooted |
| 7684                | LMB | Liriope muscari 'Big Blue'                | Big Blue Lilyturf      | 4" pot | cont. | 12" O.C. | mature, well rooted |
| 707                 | LSP | Liriope spicata                           | Lilyturf               | 4" pot | cont. | 10" O.C. | mature, well rooted |

| BULBS |     |                           |                        |            |      |          |  |
|-------|-----|---------------------------|------------------------|------------|------|----------|--|
| 1862  | NAR | Narcissus 'Mountain Hood' | Mountain Hood Daffodil | 18"-24" HT | bulb | 12" O.C. |  |

268 SF ANN TBD BY LANDSCAPE ARCHITECT TBD

**PHASE 2**

| QTY         | KEY | BOTANICAL NAME                   | COMMON NAME                 | SIZE       | TYPE  | SPACING      | REMARKS                               |
|-------------|-----|----------------------------------|-----------------------------|------------|-------|--------------|---------------------------------------|
| <b>TREE</b> |     |                                  |                             |            |       |              |                                       |
| 3           | AC  | Acer rubrum 'October Glory'      | October Glory Red Maple     | 3" Cal     | B & B | as indicated | matching, full, strong central leader |
| 13          | CC  | Cercis canadensis 'Forest Pansy' | Forest Pansy Eastern Redbud | 8'-10' HT  | B & B | as indicated | matching, multi. Stem (3-5 branches)  |
| 9           | IA  | Ilex x attenuata 'Foster'        | Foster Holly                | 10'-12' HT | B & B | as indicated | full to ground, dense.                |
| 18          | IN  | Ilex x Nellie R. Stevens         | Nellie Stevens Holly        | 8'-10' HT  | B & B | as indicated | full to ground, dense.                |
| 14          | LI  | Lagerstroemia indica 'Muskoegoe' | Muskogee Pink Crapemyrtle   | 8'-12' HT  | B & B | as indicated | full specimen, multi-stem             |
| 7           | MG  | Magnolia grandiflora             | Southern Magnolia           | 7'-8' HT   | B & B | as indicated | full to ground, dense.                |
| 7           | NS  | Nyssa sylvatica 'NIX91' pp#11391 | Forum Tupelo (Black Gum)    | 3" Cal     | B & B | as indicated | matching, well branched               |
| 4           | QP  | Quercus phellos 'High Tower'     | High Tower Willow Oak       | 3" Cal     | B & B | as indicated | full, strong central leader           |
| 29          | TO  | Thuja occidentalis 'Nigra'       | Eastern Arborvitae          | 6'-8' HT   | B & B | as indicated | full to ground, dense.                |

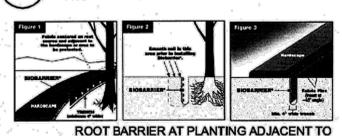
| SHRUB |    |                                   |                     |            |       |          |                |
|-------|----|-----------------------------------|---------------------|------------|-------|----------|----------------|
| 216   | BU | Buxus x 'Green Gem'               | Green Gem Boxwood   | 18"-24" HT | cont. | 24" O.C. | full and dense |
| 18    | ND | Nandina domestica 'Harbor Dwarf'  | Dwarf Nandina       | 18"-24" HT | cont. | 24" O.C. | full and dense |
| 121   | PL | Prunus laurocerasus 'Otto Luyken' | Otto Luykens Laurel | 24"-30" HT | cont. | 24" O.C. | full and dense |
| 18    | RR | Rosa var. 'nostraux'              | Flower Carpet Pink  | 1gal       | cont. | 24" O.C. | full and dense |
| 81    | TX | Taxus x media 'Densiformis'       | Dense Yew           | 42-48" ht. | cont. | 30" O.C. | full and dense |

| PERENNIALS & ORNAMENTAL GRASSES |     |                                     |                           |        |       |          |                     |
|---------------------------------|-----|-------------------------------------|---------------------------|--------|-------|----------|---------------------|
| 183                             | PAH | Pennisetum alopecuroides 'Harmelin' | Dwarf Fountain Grass      | 18" HT | cont. | 18" O.C. | mature, well rooted |
| 150                             | POK | Pennisetum orientale 'Karly Rose'   | Karly Rose Fountain Grass | 18" HT | cont. | 24" O.C. | mature, well rooted |

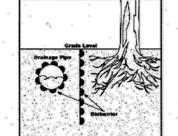
| GROUNDCOVER & VINES |     |                              |                       |        |       |          |                                |
|---------------------|-----|------------------------------|-----------------------|--------|-------|----------|--------------------------------|
| 113                 | BCI | Bignonia capreolata 'Islyll' | Crossvine (espallier) | 5 gal. | cont. | 3' O.C.  | espallier, mature, well rooted |
| 2829                | LMB | Liriope muscari 'Big Blue'   | Big Blue Lilyturf     | 4" pot | cont. | 12" O.C. | mature, well rooted            |
| 1876                | LSP | Liriope spicata              | Lilyturf              | 4" pot | cont. | 10" O.C. | mature, well rooted            |

595 SF ANN TBD BY LANDSCAPE ARCHITECT TBD

**6 PLANTING SCHEDULE**



ROOT BARRIER AT PLANTING ADJACENT TO HARDSCAPE.



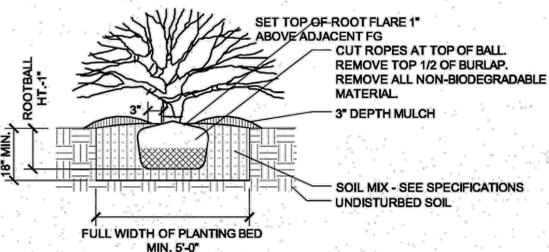
ROOT BARRIER AT DRAIN LINES, UTILITY LINES & PIPES.

**7 DETAIL: ROOT BARRIER**

NTS

MFR: BIOBARRIER; BBA NON WOVENS  
 OLD HICKORY, TN  
 TEL: 615.847.7000  
 WEB: WWW.BIOBARRIER.COM

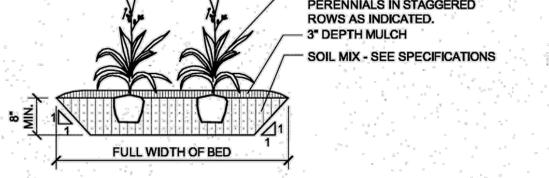
- GENERAL NOTES:**
- ROOT BARRIER TO BE INSTALLED AROUND ALL TREES & SHRUBS WITHIN FIVE FEET OF STORM PIPES
  - INSTALL PRODUCT PER MANUFACTURER SPECIFICATIONS.
  - REFER TO FOREST CONSERVATION PLANS FOR ADDITIONAL INFORMATION.



NOTES:  
 1. FOR CONTAINER-GROWN SHRUBS, MAKE (3) 1" DEEP VERTICAL CUTS, EQUALLY SPACED ABOUT ROOTBALL.

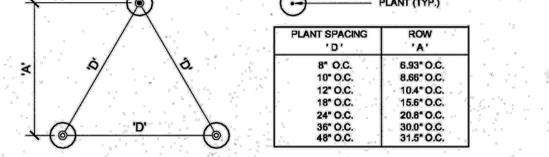
**3 TYP DETAIL: SHRUB PLANTING**

NTS



**4 TYP DETAIL: GROUNDCOVER PLANTING**

NTS

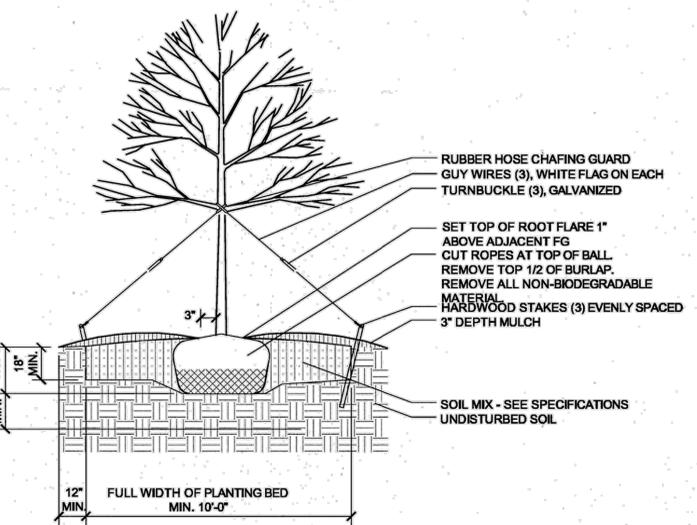


**5 TYP DETAIL: GROUNDCOVER SPACING**

NTS

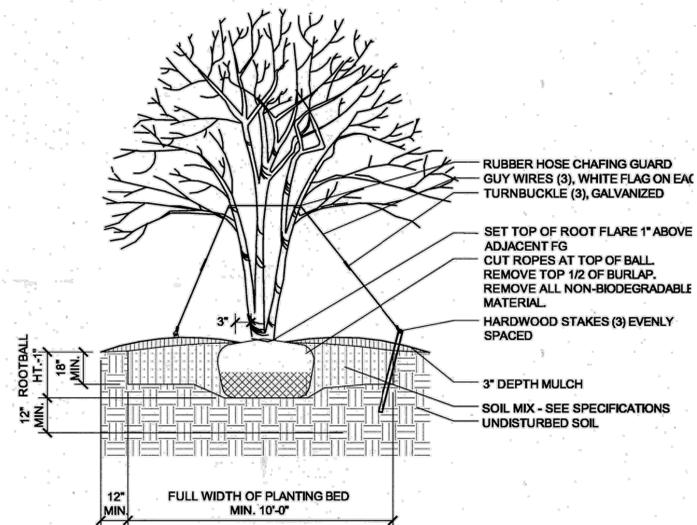
**GENERAL NOTES PER THE CITY OF GAITHERSBURG:**

- Items 1 through 4 from above checklist.
- Plant List - for each plant, list the quantity, botanical name, common name, size (in accordance with the minimum sizes after this section), container type and any specific comments.
- General Notes. The following general notes must be placed on all landscape plans where relevant:
  - Individual homeowners must be notified at least one week prior to installation of plants on lots that have an occupied dwelling.
  - Unless otherwise stipulated by specific requirements of this manual, the landscaping shown on this plan must be planted in accordance with the latest edition of Landscape Specification Guidelines, developed by the MD-DC-VA Chapter of the Landscape Contractors Association.
  - All trees are to be located a minimum distance of 3 feet from all utility boxes, 5 feet from a storm drain inlet or man hole, 10 feet from a fire hydrant, 15 feet from public street lights, 5 feet from driveway aprons, 20 feet from any traffic control sign, and at least 30 feet from any intersection.
  - Locations of street trees may be subject to change in order to avoid conflict with street lighting.
  - Any planting within a forest retention area, as designated on the forest conservation plan and shown on this plan, must be done to avoid any adverse impact to the roots of existing trees.
  - Plant type substitutions are permitted with verbal or written approval from the Planning and Code Administration.
  - All plant material will be inspected for survival by the Planning and Code Administration one year following installation. A 10 percent maintenance bond will be retained during this time period.
  - All plants must meet the standards of the latest edition of American Standard for Nursery Stock sponsored by the Association of American Nurserymen.
  - No plant shall be located in areas of obvious poor drainage. If such conditions exist, contact the landscape architect immediately to relocate affected plant materials.
  - Soil conditions must be tested, verified and adjusted by the landscape contractor to insure that appropriate soil composition and PH levels are suitable for plant materials specified for that specific location.
- Locations of proposed street lights as well as any parking for lights along with details of each type of light.
- Locations of all proposed and existing utilities - shown with bold lines.
- Planting details and details of any landscape structures that are proposed.



**1 TYP DETAIL: SINGLE-STEM TREE PLANTING**

NTS



**2 TYP DETAIL: MULTI-STEM TREE PLANTING**

NTS

Note:  
 1. No amendment proposed this sheet.

CITY OF GAITHERSBURG MAYOR & COUNCIL  
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

**SCHEMATIC DEVELOPMENT PLAN APPROVAL**

AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XXX, 2016

DESIGNED RDW ON 08/2016  
 DRAWN RDW ON 08/2016  
 REVIEWED \_\_\_\_\_

DATE XXXX/XX/XX BY \_\_\_\_\_

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL.

CITY OF GAITHERSBURG PLANNING COMMISSION  
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

**SITE PLAN APPROVAL**

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XXX, 2016

APPLICATION NO. APP-XXXX-2012 WAS GRANTED  
 AMENDMENT TO FINAL PLAN APPROVAL WITH XX ( ) CONDITIONS. SEE S.D. LETTER.  
 DATE XXXX/XX/XX BY \_\_\_\_\_

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION OR PLANNING STAFF.



| REVISION | DATE | REVISION | DATE | REVISION | DATE |
|----------|------|----------|------|----------|------|
|          |      |          |      |          |      |
|          |      |          |      |          |      |
|          |      |          |      |          |      |
|          |      |          |      |          |      |

Owner / Developer:  
**AREP 9711 Washingtonian South LLC**  
 American Real Estate Ptnship LLC  
 2350 Corporate Park Drive  
 Suite 110  
 Herndon, Virginia 20171  
 703.435.4800  
 Attn: Jeff Strup

**PLANTING DETAILS & SCHEDULE**

**RODGERS CONSULTING**  
 19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
 Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

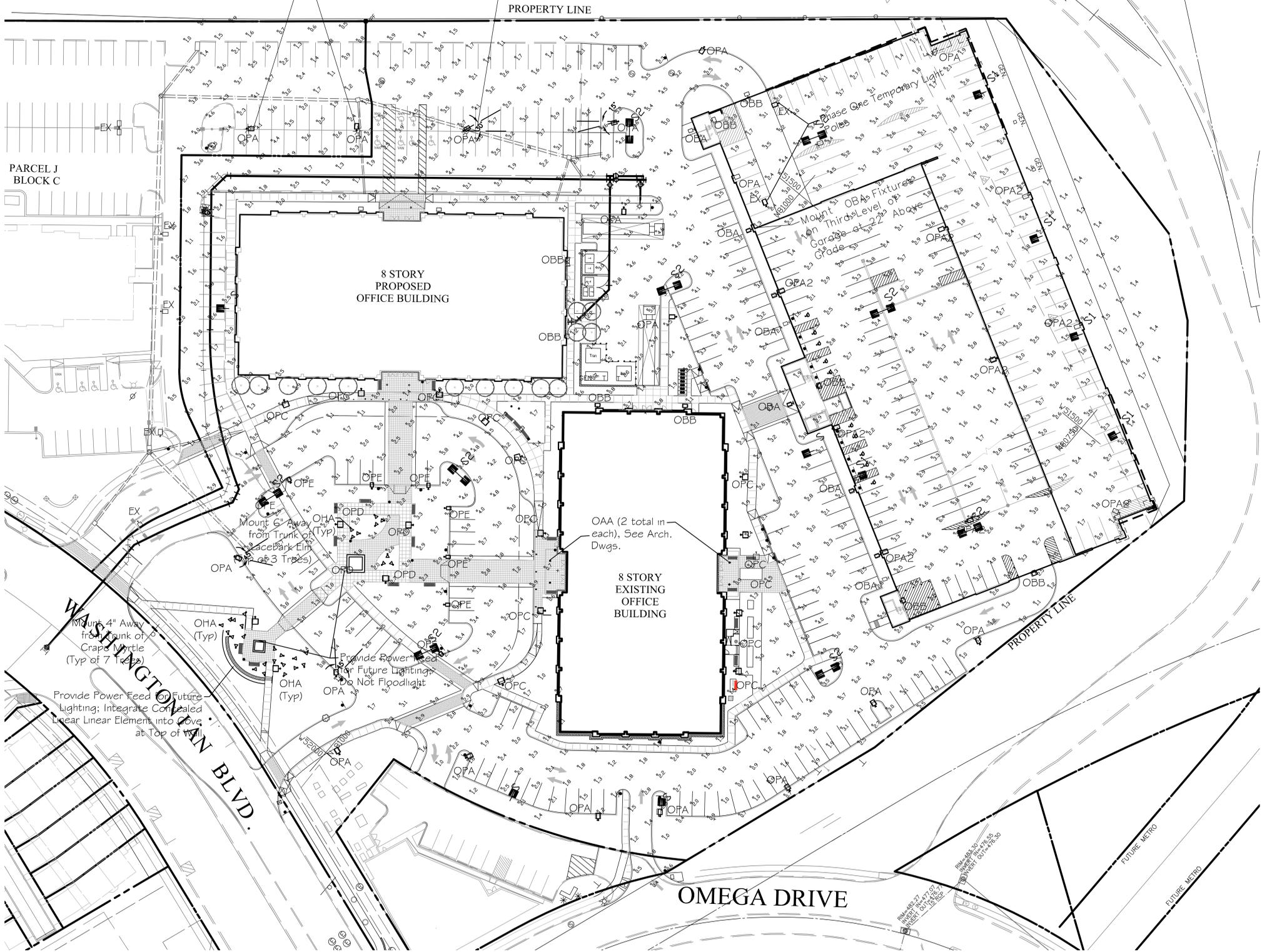
| BY          | DATE        |
|-------------|-------------|
| BASE DATA   | CADD        |
| DESIGNED    | RDW 08/2016 |
| DRAWN       | RDW 08/2016 |
| REVIEWED    |             |
| RELEASE FOR |             |
| BY _____    | DATE _____  |

**WASHINGTONIAN CENTER**  
 SOUTH-SEVEN SDP Amendment  
 PARCEL K, BLOCK C  
 Election District (No.9), Montgomery County, Maryland

SCALE: ViewportScale  
 JOB No. 1207-A  
 DATE: September 2016  
**L-4.5**  
 SHEET No. 09

General Note: Wherever OPA Fixtures Are Located More Than 5' Away from Curb, They should be Changed to Type OPB (No Concrete Base)

Remove Existing Pole Light from Concrete Base; Existing Pole to be Relocated Near Parking Garage; Mount Fixture 'OPA' to Existing Base; Height of Fixture Head to be 25' Above Grade



Washingtonian South 08/13/16

**Preliminary Fixture Schedule**

| Type | Description  | Manufacturer                              | Lamp              | Voltage | Finish                  | Location/Notes  |
|------|--|---|-------------------|---------|-------------------------|---|
| OAA  | Side-mounted white LED overlight with aluminum housing, integral driver, and 30 degree beam spread   | Lighting #LED01-1WH-30-CL0-100-CLIA       | 1W LED (included) | 120     | clear anodized aluminum | Canopy lighting over building entries; coordinate with architect on final fixture selection and mounting details                      |
| OBA  | Wall-mounted full cutoff metal halide area light with die-cast aluminum housing, integral magnetic ballast, type II distribution, gasket clear lens  | Bea #4735M                                | 70W T6 G12 MH     | 277     | IB                      | Mounted on parking garage to light parking and roadway; mount 22' above grade on 3" clear tapered glass lens                          |
| OBB  | Wall-mounted full cutoff metal halide area light with die-cast aluminum housing, integral magnetic ballast, type II distribution, gasket clear lens  | Bea #11-MT-42TR-277-88P-MCO22(pole)       | PLT 42R30AP       | 277     | IB                      | Mounted over driveway for additional lighting; mount 12' above grade; coordinate with architect on final mounting location            |
| OPA  | Pole-mounted full cutoff metal halide area light with die-cast aluminum housing, integral magnetic ballast, type II distribution, gasket clear lens, on 2" tapered pole with 3" concrete base by engineer. Fixture flare slip fit 3" O.D. pole top | Bea #201 MH(stature) + 240RPA-MCO22(pole) | 250W ED-17 Cased  | 277     | IB                      | Parking and roadway areas where pole is located within 5' of vehicle traffic. Total height of fixture to be 25' above grade           |
| OPB  | Pole-mounted full cutoff metal halide area light with die-cast aluminum housing, integral magnetic ballast, type II distribution, gasket clear lens, on 2" tapered pole with 3" concrete base by engineer. Fixture flare slip fit 3" O.D. pole top | Bea #201 MH(stature) + 240RPA-MCO22(pole) | 250W ED-17 Cased  | 277     | IB                      | Parking and roadway areas where pole is located more than 5' away from vehicle traffic. Total height of fixture to be 25' above grade |
| OPC  | Pole-mounted metal halide asymmetric area light with integral reflector, aluminum housing, aluminum reflector, integral magnetic ballast, on 2" tapered pole   | Sauk #MS-14H07PAR-277-BL-RMP12            | 70W PAR MH        | 277     | IB                      | Main entry, near plaza area   |
| OPD  | Pole-mounted metal halide asymmetric area light with integral reflector, aluminum housing, aluminum reflector, integral magnetic ballast, on 10' tapered pole  | Sauk #MS-14H07PAR-277-BL-RMP10            | 70W PAR MH        | 277     | IB                      | Front plaza   |

Washingtonian South 08/13/16

**Final Fixture Schedule**

| Type | Description   | Manufacturer                          | Lamp          | Voltage | Finish | Location/Notes                                    |
|------|---|---------------------------------------|---------------|---------|--------|---|
| OPE  | Pole-mounted full cutoff metal halide area light with integral reflector, aluminum housing, aluminum reflector, integral magnetic ballast, on 10' tapered pole, fixture flare slip fit 3" O.D. pole top | Bea #141 MH-30W(stature) + 150R(pole) | 30W T6 G12 MH | 277     | IB     | Front plaza, small version of full cutoff fixture |

Notes:  
 1. Engineer to confirm specification of all necessary mounting hardware, electrical equipment, accessories, pole diameter and base detailing and design.  
 2. Engineer to verify that the voltage of specified fixtures is compatible with the voltage available on-site.  
 3. All final mounting details and accessories to be coordinated with architect.  
 4. Coordinate locations of all equipment with architect.  
 5. All final fixture selection to be coordinated with architect.  
 6. Engineer to coordinate with O&M to determine which pole fixtures require concrete bases.

**Luminaire Schedule**

| Symbol | Label | Arrangement | Lumens | LF    | Description  |
|--------|-------|-------------|--------|-------|--|
| □      | OAA   | SINGLE      | 19475  | 0.750 | Assume 250W ED-28 MH lamp, 30' mounting height               |
| □      | OBA   | SINGLE      | 45     | 0.750 | MF Lighting LED 91 w/1W white LED, 30degree beam             |
| □      | OBB   | SINGLE      | 6650   | 0.750 | Bea 7475 MH w/70W T6 MH, 22' mounting height                 |
| □      | OPE   | SINGLE      | 3000   | 0.750 | Clendon 111 Wedge Series w/42W CFL lamp, 12' mounting height |
| □      | OPA   | SINGLE      | 19475  | 0.750 | Bea 4281 MH w/250W ED 28 MH lamp, 22' pole, 3" concrete base |
| □      | OPB   | SINGLE      | 19475  | 0.750 | Sauk 805 Asymmetrical w/ 209AH MH lamp, 12' pole             |
| □      | OPC   | SINGLE      | 4650   | 0.750 | Sauk 805 Asymmetrical w/ 70PAR MH lamp, 12' pole             |
| □      | OPD   | SINGLE      | 3300   | 0.750 | Bea 814 MH w/39W T6 MH lamp, 15' pole                        |
| □      | OPE   | SINGLE      | 19475  | 0.750 | Assume 250W ED-28 MH lamp, 30' mounting height               |
| □      | OS12  | BACK-SHCH   |        |       |  |

**Numeric Summary**

| Label                | Category    | Units | Avg  | Max | Min | Avg/Min | Max/Min |
|----------------------|-------------|-------|------|-----|-----|---------|---------|
| Washingtonian Ground | Illuminance | Fc    | 0.97 | 3.9 | 0.2 | 4.45    | 19.50   |
| Change               | Illuminance | Fc    | 0.99 | 3.4 | 0.2 | 4.95    | 17.00   |

Note:  
1. No amendment proposed this sheet.

**CITY OF GAITHERSBURG MAYOR & COUNCIL**  
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

**SCHEMATIC DEVELOPMENT PLAN APPROVAL**

AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XXX APPLICATION NO. XXX WAS GRANTED SCHEMATIC DEVELOPMENT PLAN APPROVAL BY RESOLUTION     WITH     ( ) CONDITIONS. DATE XXXX/XX/XX BY    

**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL.

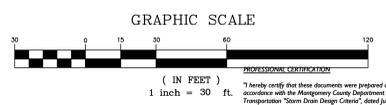
**CITY OF GAITHERSBURG PLANNING COMMISSION**  
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

**SITE PLAN APPROVAL**

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XXX APPLICATION NO. XXX WAS GRANTED AMENDMENT TO FINAL PLAN APPROVAL WITH XX ( ) CONDITIONS. SEE S.D.A. LETTER. DATE XXXX/XX/XX BY    

**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE APPROVED BY THE PLANNING COMMISSION OR PLANNING STAFF.

FOR LOCATION OF UTILITIES CALL "MISS UTILITY" AT 1-800-257-7777 OR LOG ON TO <http://www.missutility.net/utilities/> 48 Hours in Advance of Any Work in This Vicinity



| REVISION | DATE | REVISION | DATE | REVISION | DATE |
|----------|------|----------|------|----------|------|
|          |      |          |      |          |      |

Owner / Developer:  
**AREP 9711 Washingtonian South LLC**  
 American Real Estate Ptnshp LLC  
 2350 Corporate Park Drive  
 Suite 110  
 Herndon, Virginia 20171  
 703.435.4800  
 Attn: Jeff Strup

**LIGHTING PHOTOMETRIC PLAN**

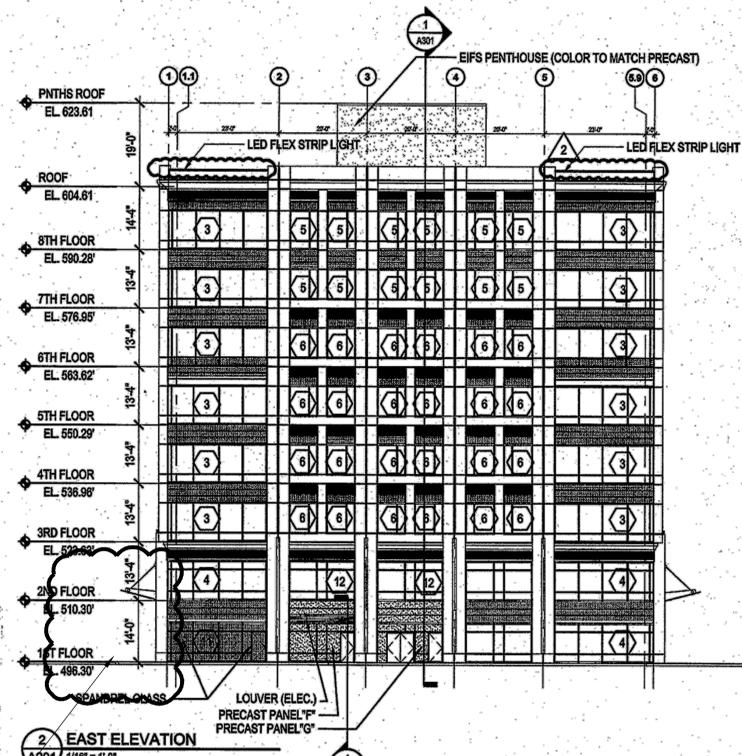
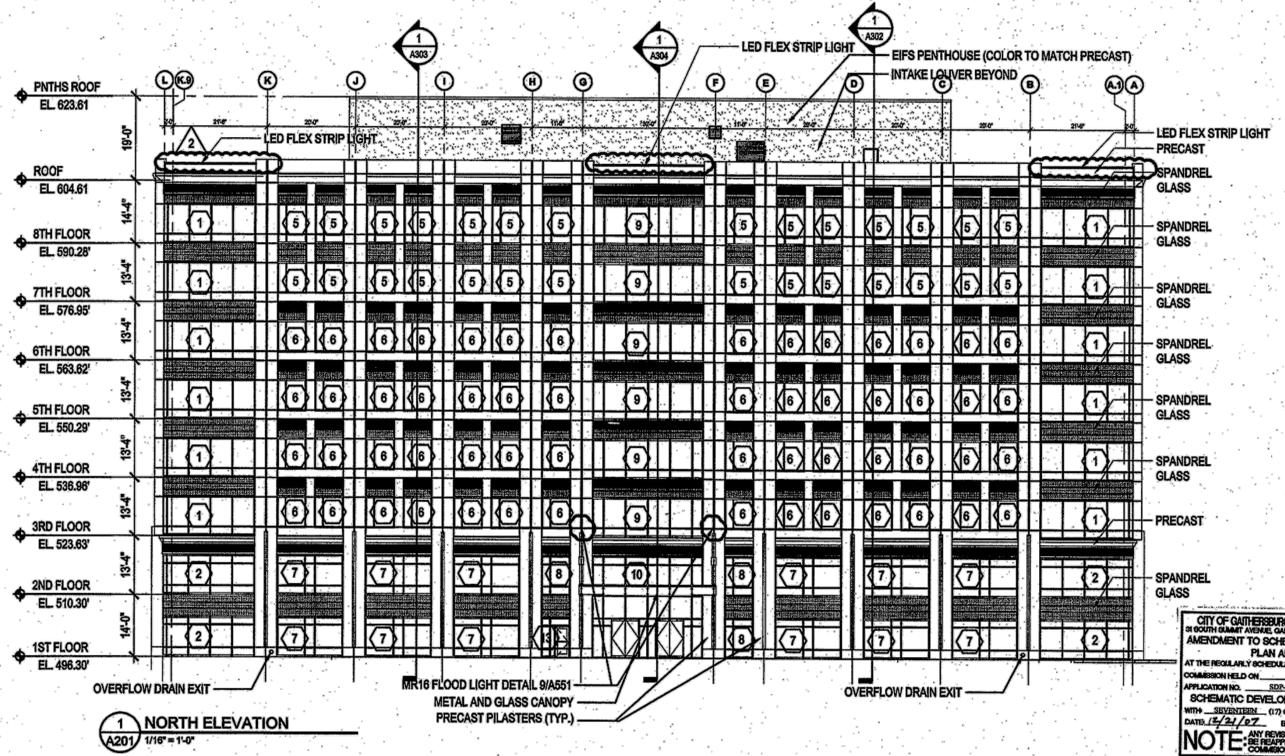
**RODGERS CONSULTING**  
 19847 Century Boulevard, Suite 300, Germantown, Maryland 20874  
 Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

| BY          | DATE         |
|-------------|--------------|
| DESIGNED    | RDW 08/20/16 |
| DRAWN       | RDW 08/20/16 |
| REVIEWED    |              |
| RELEASE FOR |              |
| BY          | DATE         |

**WASHINGTONIAN CENTER SOUTH-SEVEN SDP Amendment**  
 PARCEL K, BLOCK C  
 Election District (No.9), Montgomery County, Maryland

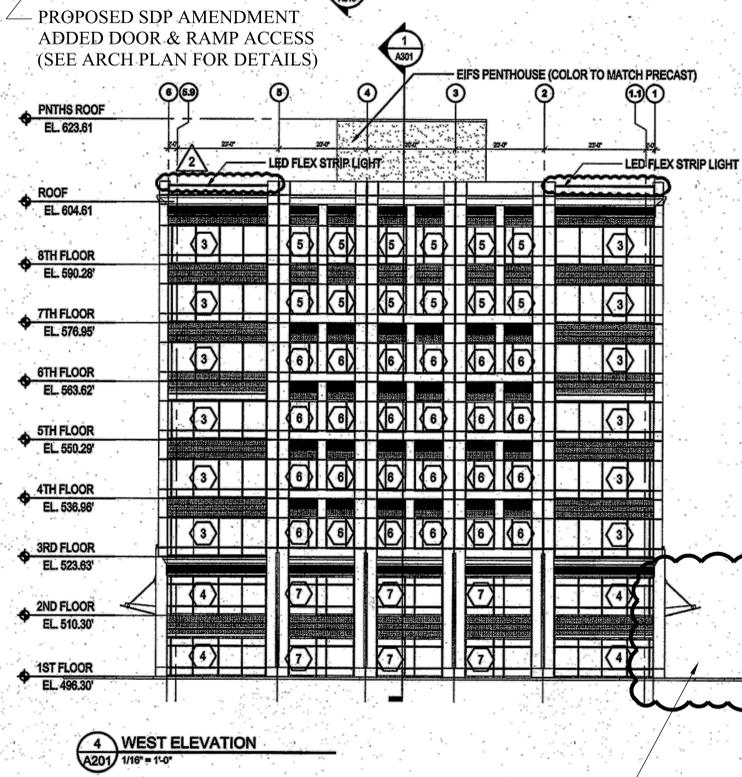
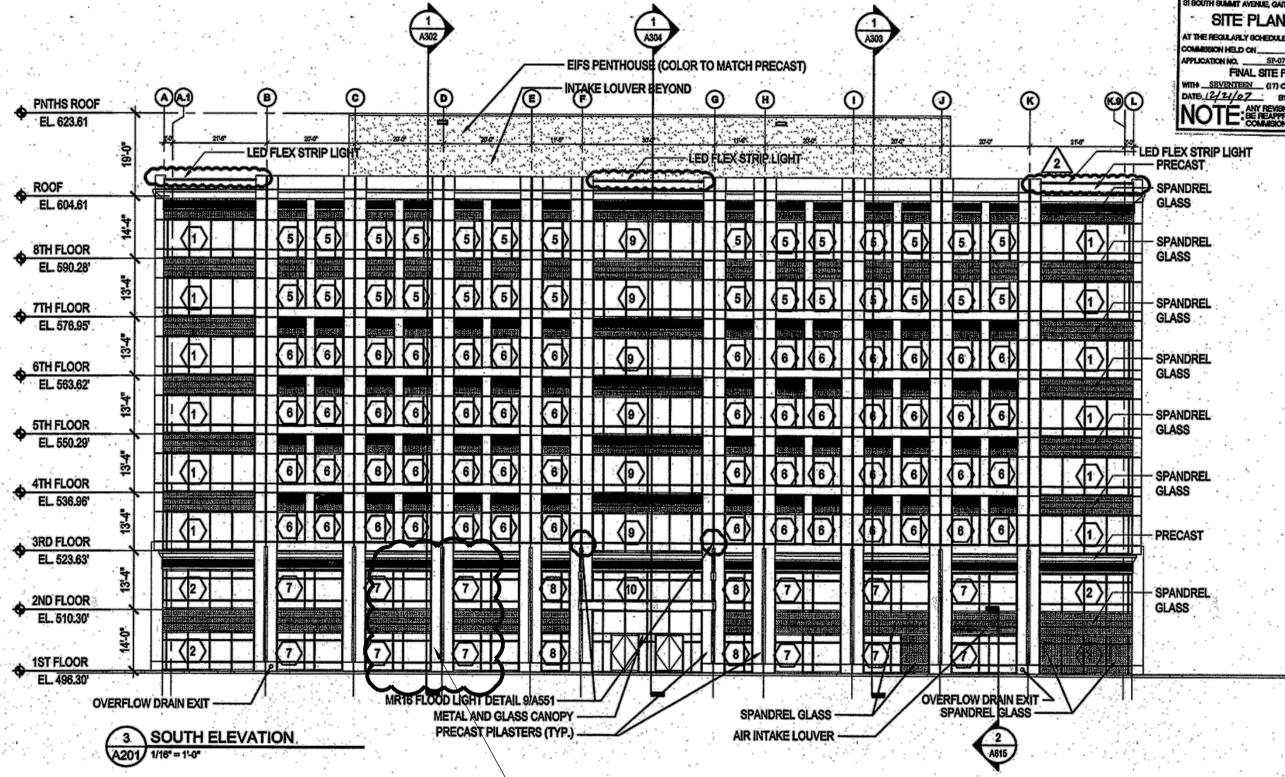
SCALE: 1" = 30'  
 JOB No. 1207-A  
 DATE: eptember 2016  
**LT-01**  
 SHEET No. 01





CITY OF GAITHERSBURG MAYOR AND COUNCIL  
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
 AMENDMENT TO SCHEMATIC DEVELOPMENT PLAN APPROVAL  
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 10/27/16  
 APPLICATION NO. SD-16-002 WAS GRANTED  
 SCHEMATIC DEVELOPMENT PLAN APPROVAL  
 WITH 071 CONDITIONS  
 DATE 10/27/16 BY [Signature]  
**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

CITY OF GAITHERSBURG PLANNING COMMISSION  
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
 SITE PLAN APPROVAL  
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 10/27/16  
 APPLICATION NO. SD-16-002 WAS GRANTED  
 FINAL SITE PLAN APPROVAL  
 WITH 071 CONDITIONS  
 DATE 10/27/16 BY [Signature]  
**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION



Note:  
 1. Amendment for proposed educational use, new door access, sidewalk and ADA ramp.

CITY OF GAITHERSBURG MAYOR & COUNCIL  
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SCHEMATIC DEVELOPMENT PLAN APPROVAL**  
 AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XXX  
 APPLICATION NO. XXX WAS GRANTED  
 SCHEMATIC DEVELOPMENT PLAN APPROVAL  
 BY RESOLUTION WITH ( ) CONDITIONS.  
 DATE XXXX BY  
**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL

CITY OF GAITHERSBURG PLANNING COMMISSION  
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SITE PLAN APPROVAL**  
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XXX  
 APPLICATION NO. XXX WAS GRANTED  
**AMENDMENT TO FINAL PLAN APPROVAL**  
 WITH XX ( ) CONDITIONS SEE S.D. LETTER.  
 DATE XXXXXX BY  
**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE APPROVED BY THE PLANNING COMMISSION OR PLANNING STAFF

PROFESSIONAL CERTIFICATION  
 I hereby certify that these documents were prepared or approved by me in accordance with the Montgomery County Department of Public Works and Transportation "Storm Drain Design Criteria", dated June 10, 2014, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13970, Expiration Date 6/1/18.



| REVISION | DATE | REVISION | DATE | REVISION | DATE |
|----------|------|----------|------|----------|------|
|          |      |          |      |          |      |
|          |      |          |      |          |      |
|          |      |          |      |          |      |

Owner / Developer:  
**AREP 9711 Washingtonian South LLC**  
 American Real Estate Ptnship LLC  
 2350 Corporate Park Drive  
 Suite 110  
 Herndon, Virginia 20171  
 703.435.4800  
 Attn: Jeff Strup

# BLDG ELEVATIONS

**RODGERS CONSULTING**  
 19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
 Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

| BY                             | DATE         |
|--------------------------------|--------------|
| BASE DATA                      | CADD         |
| DESIGNED                       | RDW 08/20/16 |
| DRAWN                          | RDW 08/20/16 |
| REVIEWED                       |              |
| RODGERS CONTACT: Ryan D. White |              |
| RELEASE FOR                    |              |
| BY                             | DATE         |

**WASHINGTONIAN CENTER**  
 SOUTH-SEVEN SDP Amendment  
 PARCEL K, BLOCK C  
 Election District (No.9), Montgomery County, Maryland

SCALE: As Noted  
 JOB No. 1207-A  
 DATE: August 2016  
**A-201**  
 SHEET No. 01

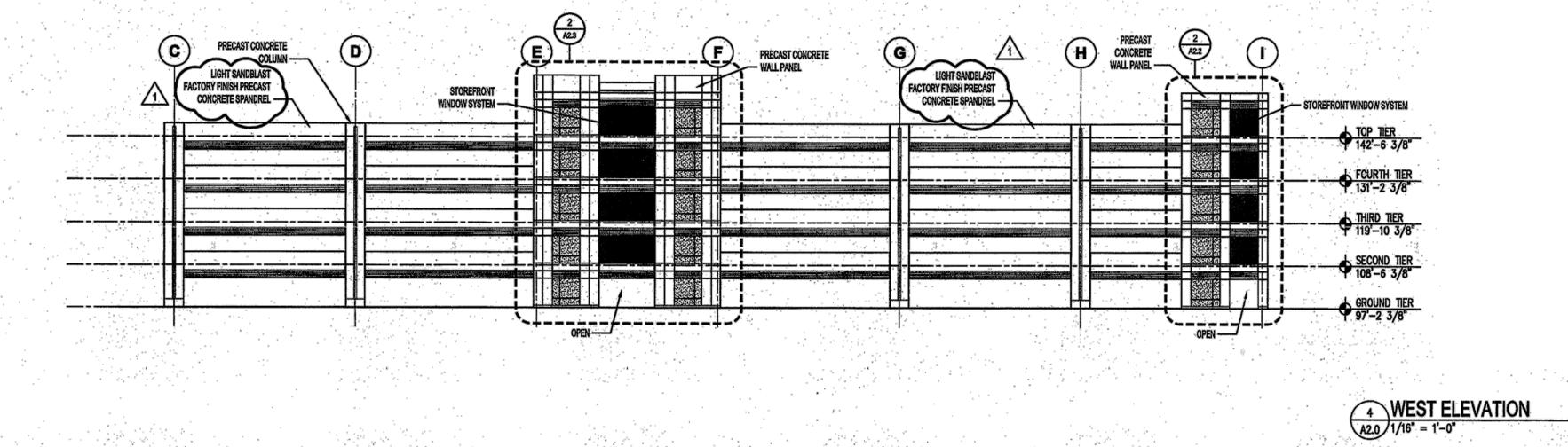
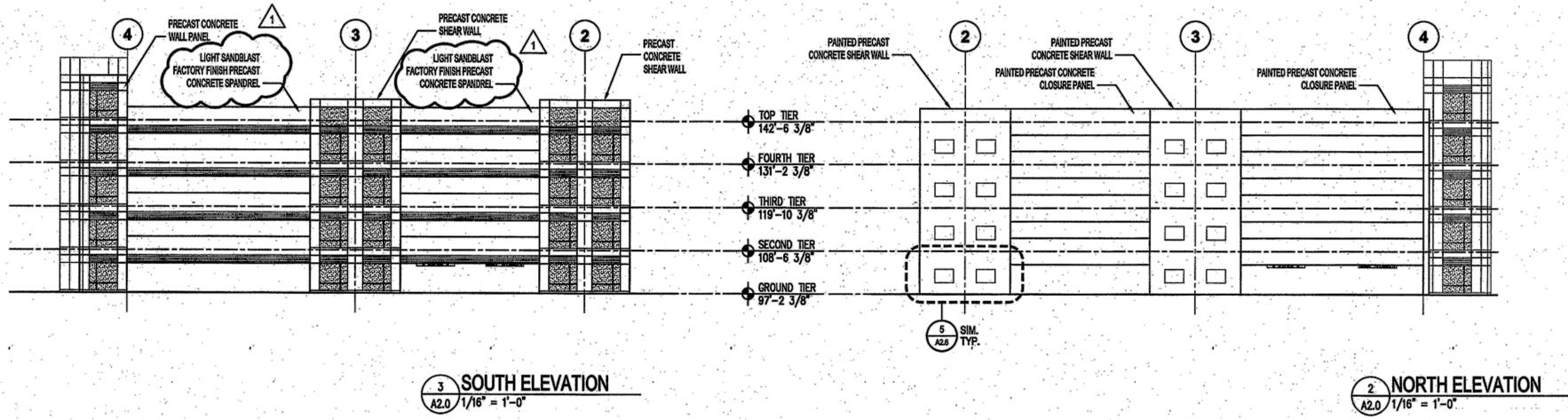
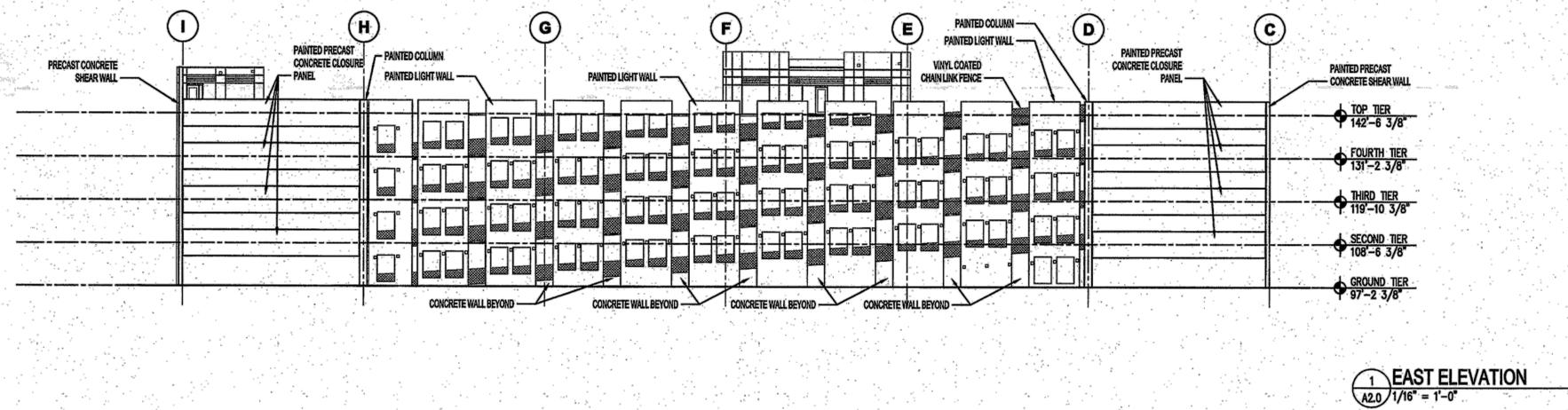
**WBA**  
**WISNEWSKI BLAIR & ASSOCIATES, Ltd**  
 44 Canal Center Plaza  
 Suite 100  
 Alexandria, VA 22314  
 Phone: (703) 575-7700  
 www.wba-erd.com

Architecture, Engineering  
 Planning, Interior Design  
 Facilities Management

**GHT Limited**  
 1013 N. Glebe Road, Suite 200  
 Arlington, VA 22207-4760  
 Phone: 703-648-1000

**Echelon Engineering, LLC**  
 2141 Rockview Park Drive, Suite 200  
 Falls Church, VA 22042  
 Phone: 888-243-4372

**Rogers Consulting, Inc.**  
 1847 Century Blvd., Suite 200  
 Gaithersburg, MD 20878  
 Phone: 301-688-4100



**3 SOUTH ELEVATION**  
 A2.0 1/16" = 1'-0"

WASHINGTONIAN CENTER - PARKING STRUCTURE  
 9711 WASHINGTONIAN BLVD.  
 GAITHERSBURG, MARYLAND  
**BUILDING ELEVATIONS  
 PHASE 1**

| No. | DATE        | DESCRIPTION        |
|-----|-------------|--------------------|
|     | July 20, 07 | PERMIT SET         |
|     | Sept 12, 07 | CONSTRUCTION DOC.  |
|     | Oct. 15, 07 | REVISED PERMIT SET |
| 1   | Nov. 12, 07 | REVISED PERMIT SET |

**A2.0**

Note:  
 1. No amendment proposed this sheet.

CITY OF GAITHERSBURG MAYOR & COUNCIL  
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

**SCHEMATIC DEVELOPMENT PLAN APPROVAL**

AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XXX WAS GRANTED SCHEMATIC DEVELOPMENT PLAN APPROVAL BY RESOLUTION XXX WITH XXX CONDITIONS.

DATE XXX/XX/XX BY XXX

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL.

CITY OF GAITHERSBURG PLANNING COMMISSION  
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

**SITE PLAN APPROVAL**

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XXX WAS GRANTED AMENDMENT TO FINAL PLAN APPROVAL WITH XX (\*) CONDITIONS. SEE S.D.A. LETTER. DATE XXX/XX/XX BY XXX

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE APPROVED BY THE PLANNING COMMISSION OR PLANNING STAFF.

PROFESSIONAL CERTIFICATION  
 I hereby certify that these documents were prepared or approved by me in accordance with the Montgomery County Department of Public Works and Transportation "Seal Design Criteria", dated June 10, 2014, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 13976, Expiration Date: 6/1/18.



| REVISION | DATE | REVISION | DATE | REVISION | DATE |
|----------|------|----------|------|----------|------|
|          |      |          |      |          |      |
|          |      |          |      |          |      |
|          |      |          |      |          |      |

Owner / Developer:  
**AREP 9711 Washingtonian South LLC**  
 American Realstate Ptnshp LLC  
 2350 Corporate Park Drive  
 Suite 110  
 Herndon, Virginia 20171  
 703.435.4800  
 Attn: Jeff Strup

**BUILDING ELEVATIONS  
 PHASE 1**

**RODGERS CONSULTING**  
 1847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
 Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

| BY                             | DATE                     |
|--------------------------------|--------------------------|
| BASE DATA                      | CADD                     |
| DESIGNED                       | RDW 08/2016              |
| DRAWN                          | RDW 08/2016              |
| REVIEWED                       | RDW 08/2016              |
| RODGERS CONTACT: Ryan D. White |                          |
| RELEASE FOR                    | <input type="checkbox"/> |
| BY _____                       | DATE _____               |

**WASHINGTONIAN CENTER**  
 SOUTH-SEVEN SDP Amendment  
 PARCEL K, BLOCK C  
 Election District (No.9), Montgomery County, Maryland

SCALE: As Noted

JOB No. 1207-A

DATE: September 2016

**A2.0**

SHEET No. 07





WISNEWSKI BLAIR & ASSOCIATES, Ltd

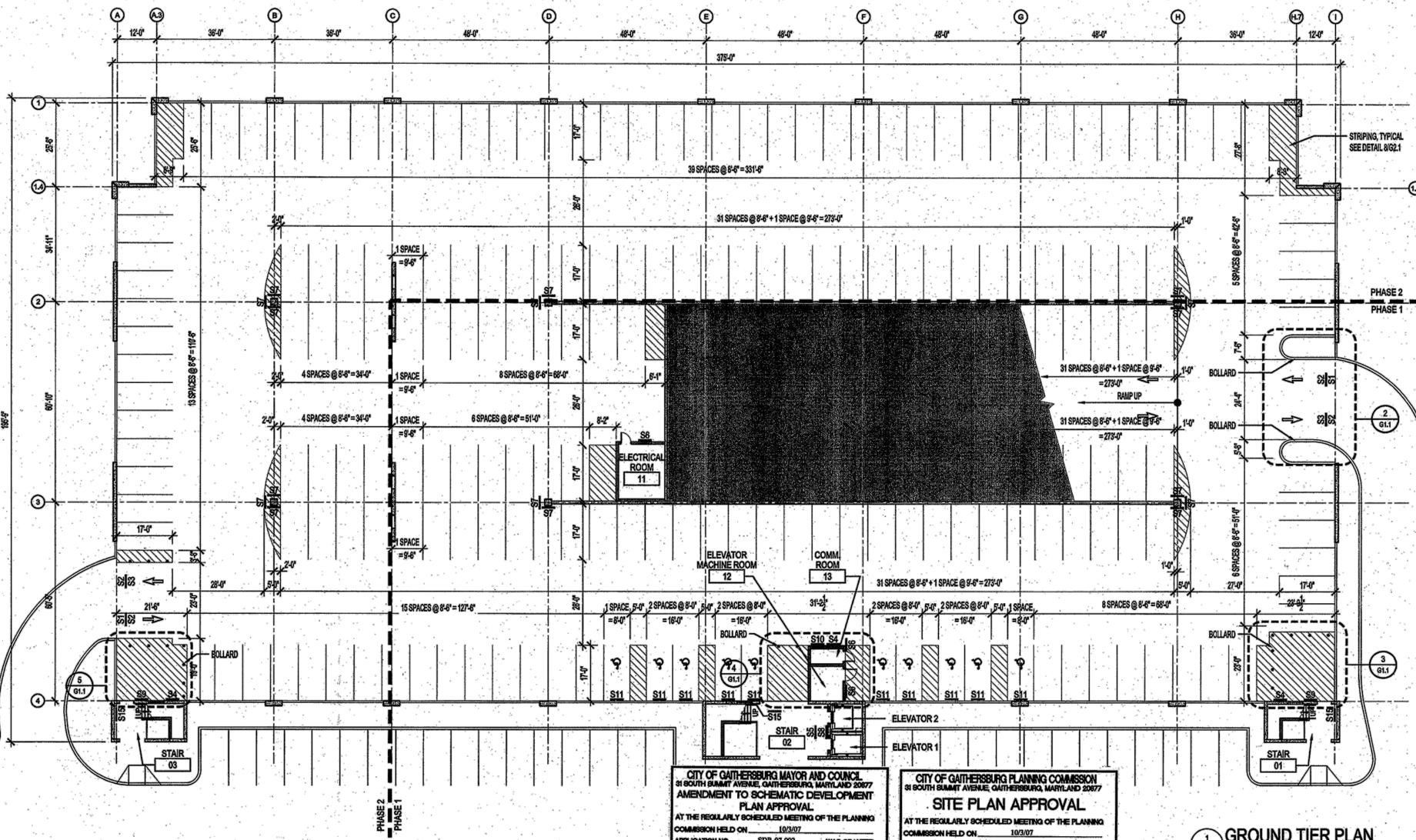
44 Canal Center Plaza  
Suite 100  
Alexandria, VA 22314  
Phone: (703)838-7788  
www.wba-urb.com

Architecture, Engineering  
Planning, Interior Design  
Facilities Management

GHT Limited  
1019 G. G. Road, Suite 200  
Arlington, VA 22204-4148  
Phone: 703-544-1888

Echelon Engineering, LLC  
2444 Piedmont Park Drive, Suite 800  
High Church, VA 22129  
Phone: 800-522-8277

Rogers Consulting, Inc.  
1947 Century Blvd., Suite 200  
Herndon, VA 22063  
Phone: 703-444-0200

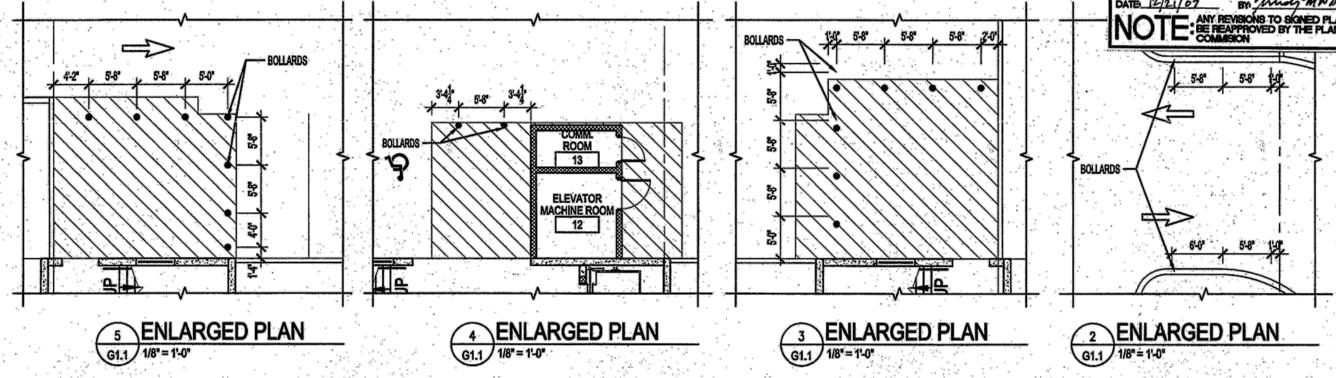


WASHINGTONIAN CENTER - PARKING STRUCTURE  
9711 WASHINGTONIAN BLVD.  
GAITHERSBURG, MARYLAND  
GROUND TIER PARKING LAYOUT -  
PHASE 2

CITY OF GAITHERSBURG MAYOR AND COUNCIL  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
AMENDMENT TO SCHEMATIC DEVELOPMENT  
PLAN APPROVAL  
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING  
COMMISSION HELD ON 10/3/07  
APPLICATION NO. SDP-07-002 WAS GRANTED  
SCHEMATIC DEVELOPMENT PLAN APPROVAL  
WITH SEVENTEEN (17) CONDITIONS  
DATE 12/21/07 BY *Shirley M. Johnson*

CITY OF GAITHERSBURG PLANNING COMMISSION  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
SITE PLAN APPROVAL  
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING  
COMMISSION HELD ON 10/3/07  
APPLICATION NO. SP-07-009 WAS GRANTED  
FINAL SITE PLAN APPROVAL  
WITH SEVENTEEN (17) CONDITIONS  
DATE 12/21/07 BY *Shirley M. Johnson*

1 GROUND TIER PLAN  
G1.1 1/16" = 1'-0"



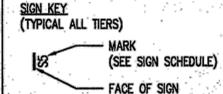
PARKING COUNT - PHASE 2

| TIER   | STANDARD CAR | ACCESSIBLE PARKING | TOTAL |
|--------|--------------|--------------------|-------|
| GROUND | 190          | 10                 | 190   |
| SECOND | 237          | 0                  | 237   |
| THIRD  | 237          | 0                  | 237   |
| FOURTH | 237          | 0                  | 237   |
| TOP    | 237          | 0                  | 237   |
| TOTAL  | 1128         | 10                 | 1138  |

GENERAL NOTES:

- 1. SEE G2.1 AND G2.2 FOR SIGN AND STRIP DETAILS
- 2. SEE SHEETS G2.1 AND G2.2 FOR SIGN SCHEDULE & GRAPHICS DETAILS

LEGEND



REVISIONS

| NO. | DATE        | DESCRIPTION        |
|-----|-------------|--------------------|
| 1   | July 20, 07 | PERMIT SET         |
| 2   | Sept 12, 07 | CONSTRUCTION DOC.  |
| 3   | Oct. 15, 07 | REVISED PERMIT SET |

SCALE:  
DRAWN BY: Y  
CHECKED BY: JH  
WBA REF. No.: A21008.02

G1.1

Note:  
1. No amendment proposed this sheet.

CITY OF GAITHERSBURG MAYOR & COUNCIL  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
SCHEMATIC DEVELOPMENT  
PLAN APPROVAL  
AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND  
CITY COUNCIL HELD ON XXX  
APPLICATION NO. XXX WAS GRANTED  
SCHEMATIC DEVELOPMENT PLAN APPROVAL  
BY RESOLUTION WITH ( ) CONDITIONS.  
DATE BY

CITY OF GAITHERSBURG PLANNING COMMISSION  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
SITE PLAN APPROVAL  
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING  
COMMISSION HELD ON XXX  
APPLICATION NO. XXX WAS GRANTED  
AMENDMENT TO FINAL PLAN APPROVAL  
WITH ( ) CONDITIONS. SEE S.D.A. LETTER.  
DATE XXXX/XX/XX BY

PROFESSIONAL CERTIFICATION  
I hereby certify that these documents were prepared or approved by me in accordance with the Montgomery County Department of Public Works and Transportation's "Sign Design Criteria", dated June 10, 2014, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13976, Expiration Date 6/1/18.



REVISION

| REVISION | DATE | REVISION | DATE | REVISION | DATE |
|----------|------|----------|------|----------|------|
|          |      |          |      |          |      |
|          |      |          |      |          |      |
|          |      |          |      |          |      |
|          |      |          |      |          |      |

Owner / Developer:  
**AREP 9711 Washingtonian South LLC**  
American Realstate Ptnship LLC  
2350 Corporate Park Drive  
Suite 110  
Herndon, Virginia 20171  
703.435.4800  
Attn: Jeff Strup

GROUND TIER PARKING  
LAYOUT PH2

**RODGERS  
CONSULTING**  
1947 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

RELEASE FOR

| BY | DATE |
|----|------|
|    |      |
|    |      |
|    |      |

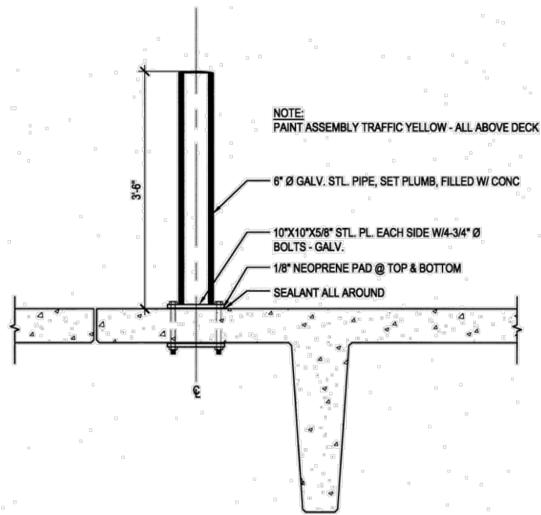
**WASHINGTONIAN CENTER**  
SOUTH-SEVEN SDP Amendment  
PARCEL K, BLOCK C  
Election District (No.9), Montgomery County, Maryland

SCALE: As Noted  
JOB No. 1207-A  
DATE: September 2016  
**G1.1**  
SHEET No. 02

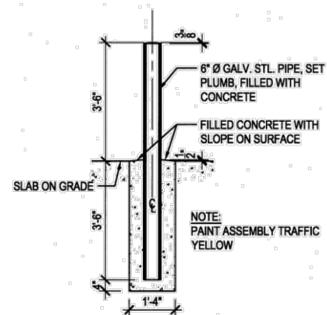




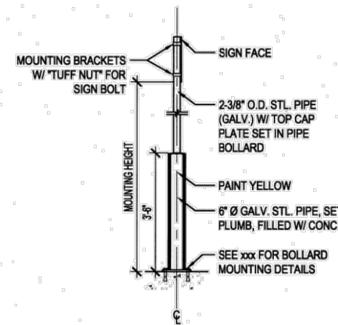




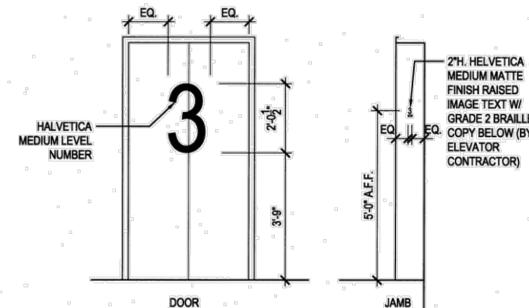
**4** PIPE BOLLARD DETAIL AT TEE  
 G2.2 1" = 1'-0"



**3** PIPE BOLLARD DETAIL  
 G2.2 1/2" = 1'-0"

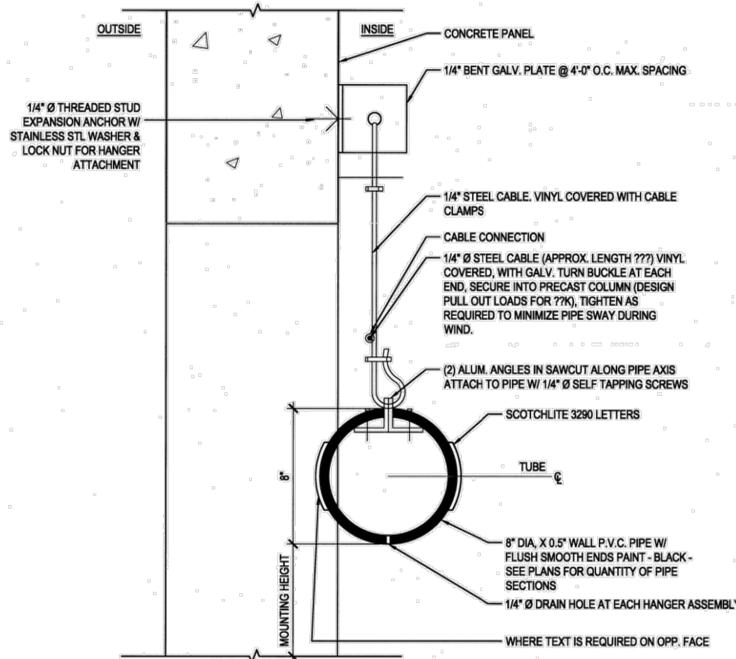


**2** SIGN MOUNTING DETAIL  
 G2.2 1/2" = 1'-0"

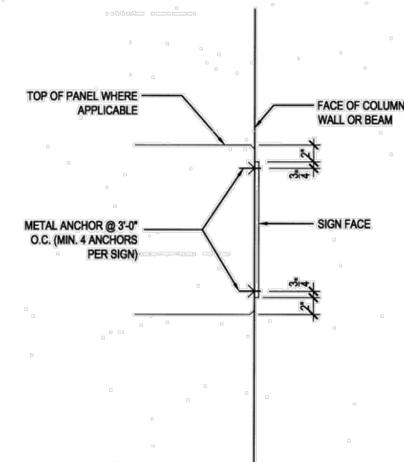


NOTES:  
 1. RAISED IMAGE TEXT W/ BRAILLE COPY TO CONFORM TO REQUIREMENT OF ADA 703.3 and 703.4.  
 2. PROVIDE SIGN AT EACH ELEVATOR DOOR & EACH ELEVATOR JAMB AT EACH TIER.

**1** SIGN DETAIL AT ELEVATOR DOOR  
 G2.2 1/2" = 1'-0"



**6** SIGN MOUNTING DETAIL  
 G2.2 3" = 1'-0"



CONTRACTOR NOTE:  
 1. DO NOT OVERDRIVE ANCHORS. OVERDRIVEN ANCHORS WILL DAMAGE SIGNS.  
 2. WHERE TOP OF PANEL OR BOTTOM OF BEAM CONDITION OCCURS; MAINTAIN A CONSTANT 2" DIMENSION FROM TOP OF PANEL OR BOTTOM OF BEAM TO SIGN AS SHOWN.

**5** SIGN MOUNTING DETAIL  
 G2.2 1 1/2" = 1'-0"

WASHINGTONIAN CENTER - PARKING STRUCTURE  
 9711 WASHINGTONIAN BLVD.  
 GAITHERSBURG, MARYLAND

SIGN MOUNTING DETAILS

| No. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

CITY OF GAITHERSBURG MAYOR & COUNCIL  
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SCHEMATIC DEVELOPMENT PLAN APPROVAL**  
 AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XXXX WAS GRANTED APPLICATION NO. XXXX SCHEMATIC DEVELOPMENT PLAN APPROVAL BY RESOLUTION WITH ( ) CONDITIONS.  
 DATE: XXXX BY: \_\_\_\_\_

CITY OF GAITHERSBURG PLANNING COMMISSION  
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SITE PLAN APPROVAL**  
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XXXX WAS GRANTED APPLICATION NO. XXXX AMENDMENT TO FINAL PLAN APPROVAL WITH ( ) CONDITIONS. SEE S.D.A. LETTER. DATE: XXXX BY: \_\_\_\_\_

Note:  
 1. No amendment proposed this sheet.

PROFESSIONAL CERTIFICATION  
 I hereby certify that these documents were prepared or approved by me in accordance with the Montgomery County Department of Public Works and Transportation "Seal Design Criteria", dated June 10, 2014, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13976, Expiration Date: 6/1/18.



| REVISION | DATE | REVISION | DATE | REVISION | DATE |
|----------|------|----------|------|----------|------|
|          |      |          |      |          |      |
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|          |      |          |      |          |      |
|          |      |          |      |          |      |

Owner / Developer:  
**AREP 9711 Washingtonian South LLC**  
 American Real Estate Ptnshp LLC  
 2350 Corporate Park Drive  
 Suite 110  
 Herndon, Virginia 20171  
 703.435.4800  
 Attn: Jeff Strup

**SIGN MOUNTING DETAILS**

**RODGERS CONSULTING**  
 19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
 Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

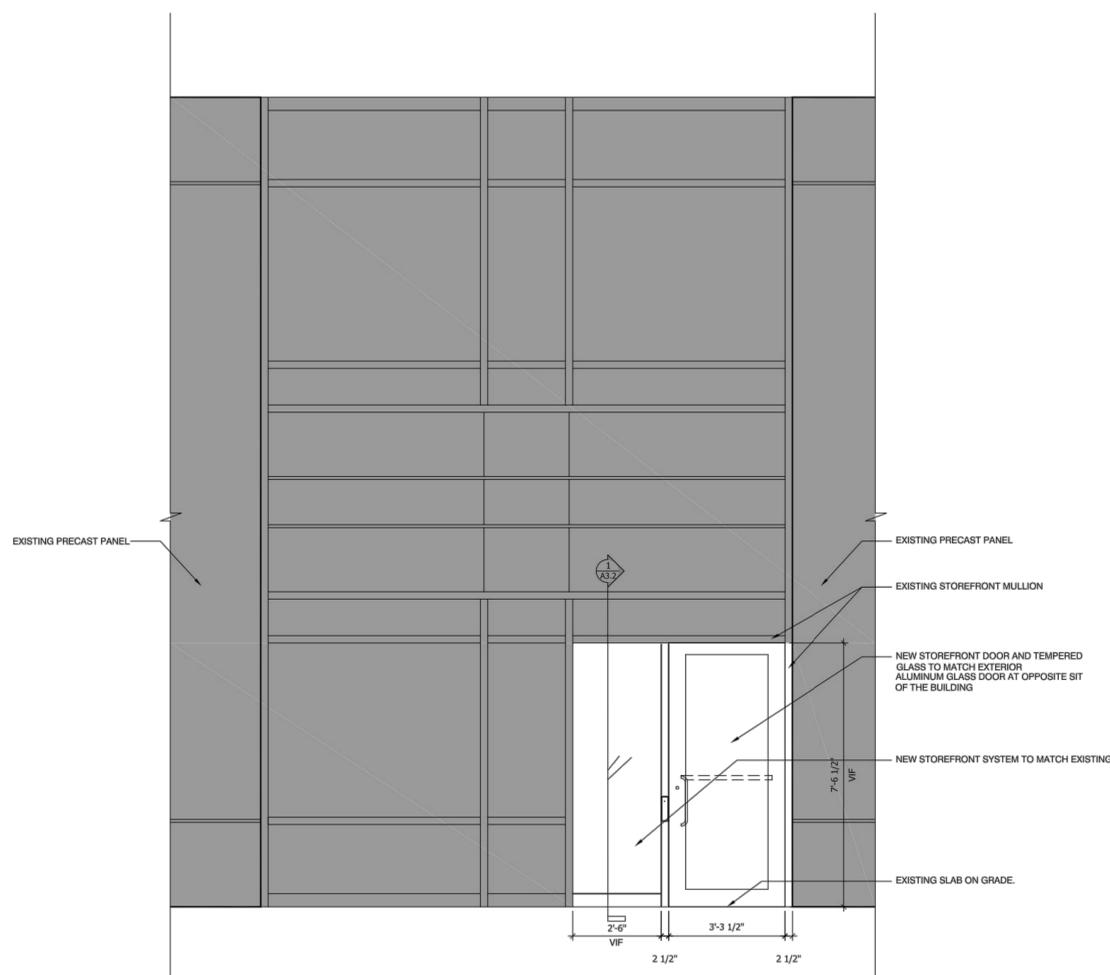
| BY          | DATE        |
|-------------|-------------|
| BASE DATA   | CADD        |
| DESIGNED    | RDW 08/2016 |
| DRAWN       | RDW 08/2016 |
| REVIEWED    |             |
| RELEASE FOR |             |
| BY: _____   | DATE: _____ |

**WASHINGTONIAN CENTER SOUTH-SEVEN SDP Amendment**  
 PARCEL K, BLOCK C  
 Election District (No.9), Montgomery County, Maryland

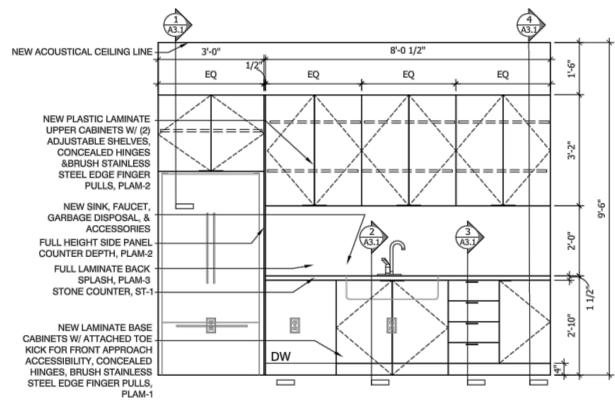
SCALE: As Noted  
 JOB No. 1207-A  
 DATE: September 2016  
**G2.2**  
 SHEET No. 02

THIS DRAWING AND THE DESIGN SHOWN IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, COPIED OR USED WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2016, INTEC GROUP, INC.

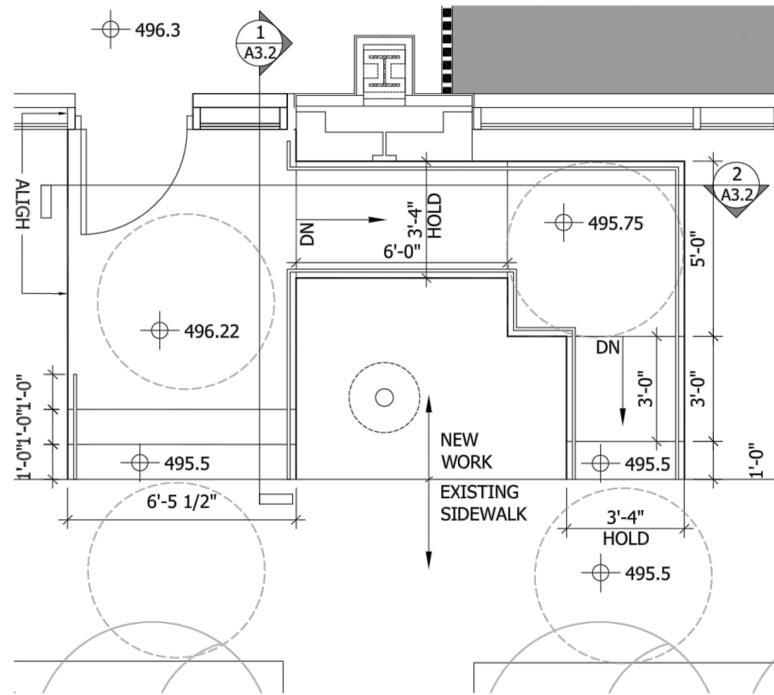
Monday, August 15, 2016 | 3:40pm | C:\DATA\25800\9711 Washingtonian Blvd. The Summit @ Washingtonian\072515 - High Performance Learning Center\01 CURRENT\25815\_A2.1.dwg



**1**  
A2.1 **EXTERIOR NEW GLASS DOOR AND WINDOW SYSTEM ELEVATION**  
SCALE: 1/2" = 1'-0"



**2**  
A2.1 **PANTRY MILLWORK ELEVATION**  
SCALE: 1/2" = 1'-0"



**3**  
A2.1 **EXTERIOR RAMP AND STAIR ENLARGED PLAN**  
SCALE: 1/2" = 1'-0"

**Note:**  
1. Amendment for proposed educational use, new door access, sidewalk and ADA ramp.

**CITY OF GAITHERSBURG MAYOR & COUNCIL**  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SCHEMATIC DEVELOPMENT PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON XXX  
APPLICATION NO. XXX WAS GRANTED  
**SCHEMATIC DEVELOPMENT PLAN APPROVAL**  
BY RESOLUTION     WITH     ( ) CONDITIONS.  
DATE     BY    

**CITY OF GAITHERSBURG PLANNING COMMISSION**  
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877  
**SITE PLAN APPROVAL**  
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON XXX  
APPLICATION NO. XXX WAS GRANTED  
**AMENDMENT TO FINAL PLAN APPROVAL**  
WITH XX ( " ) CONDITIONS. SEE S.D.A LETTER.  
DATE XXXXXX BY    



INTEC Group, Inc.  
3201 JERMANTOWN ROAD  
SUITE 750  
FAIRFAX, VA 22030  
P: 703.359.9737  
www.intecgroup.net

**PROFESSIONAL CERTIFICATION**  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 5454, EXPIRATION DATE: 07-03-2016.



**PROJECT**  
**HIGH PERFORMANCE LEARNING INTERIOR RENOVATION**  
9711 WASHINGTONIAN BLVD. GAITHERSBURG, MD

SEAL

**DRAWING LOG**  
ISSUE: DD FOR TENANT REVIEW  
DATE: 04.27.16  
ISSUE: OWNER REVIEW SET  
DATE: 08.15.16

**SHEET INFORMATION**  
DATE OF DRAWING: 04.21.16  
DRAWN BY: ZL  
JOB NUMBER: 75815

**ELEVATIONS**  
**A2.1**

**PROFESSIONAL CERTIFICATION**  
I hereby certify that these documents were prepared or approved by me in accordance with the Montgomery County Department of Public Works and Transportation "Storm Drain Design Criteria", dated June 10, 2014, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13970, Expiration Date 6/1/18.



| REVISION | DATE | REVISION | DATE | REVISION | DATE |
|----------|------|----------|------|----------|------|
|          |      |          |      |          |      |
|          |      |          |      |          |      |
|          |      |          |      |          |      |
|          |      |          |      |          |      |

Owner / Developer:  
**AREP 9711 Washingtonian South LLC**  
American Real Estate Ptnship LLC  
2350 Corporate Park Drive  
Suite 110  
Herndon, Virginia 20171  
703.435.4800  
Attn: Jeff Strup

# RAMP ELEVATIONS

**RODGERS CONSULTING**  
19847 Century Boulevard, Suite 300, Germantown, Maryland 20874  
Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

| BY                             | DATE        |
|--------------------------------|-------------|
| BASE DATA                      | CADD        |
| DESIGNED                       | RDW 08/2016 |
| DRAWN                          | RDW 08/2016 |
| REVIEWED                       |             |
| RODGERS CONTACT: Ryan D. White |             |
| RELEASE FOR                    |             |
| BY                             | DATE        |

**WASHINGTONIAN CENTER SOUTH-SEVEN SDP Amendment**  
PARCEL K, BLOCK C  
Election District (No.9), Montgomery County, Maryland

SCALE: As Noted  
JOB No. 1207-A  
DATE: August 2016  
**A2.1**  
SHEET No. GF

PRELIMINARY NOT FOR CONSTRUCTION

